

Landscape Construction Documents

for the

LEFF/KNIGHT RESIDENCE

One Azalea Lane
 Town of Chilmark, Massachusetts
 Map 29, Parcel 5

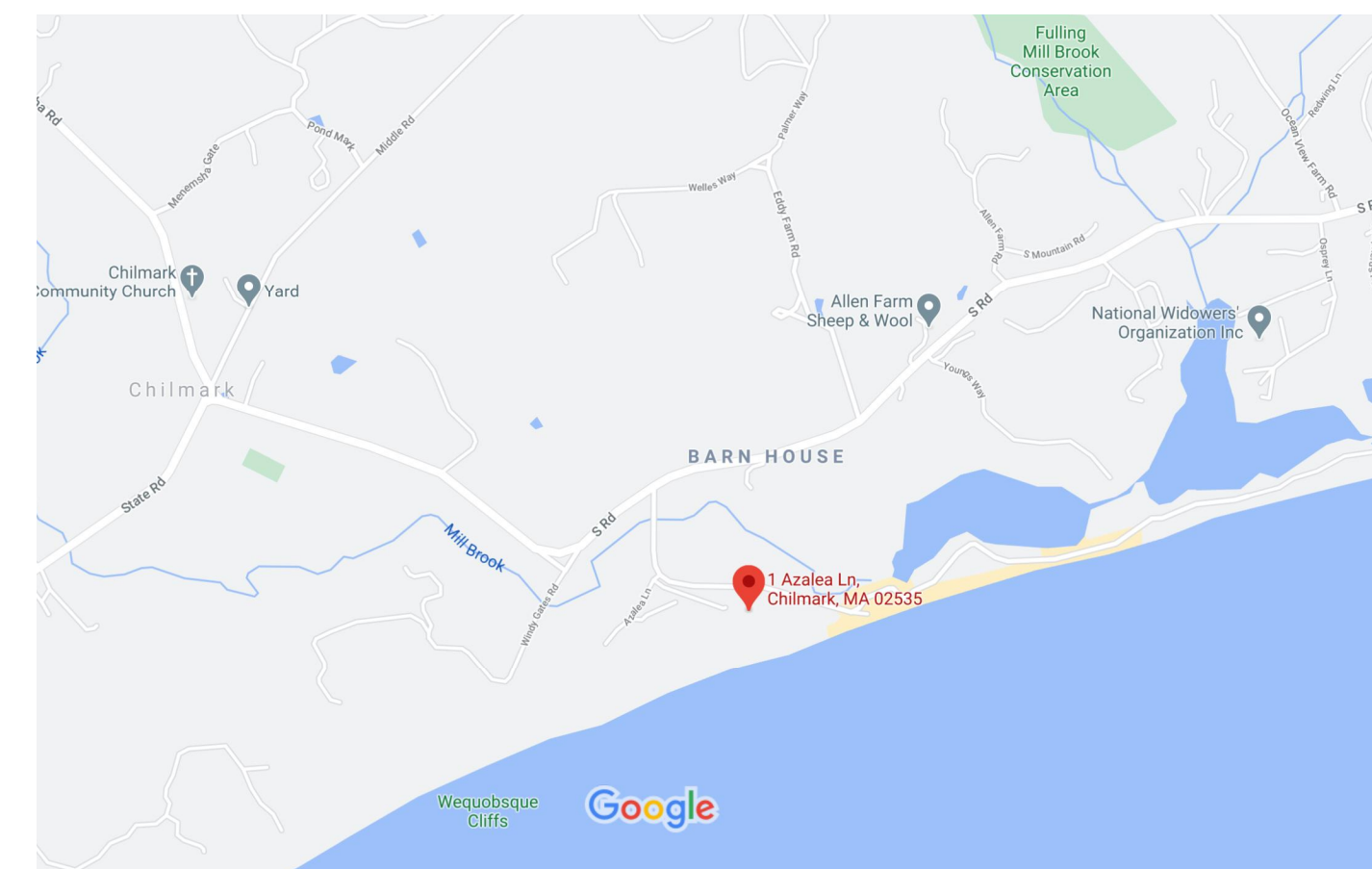
April 16, 2021

**Pouder
 Design
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NEW MILFORD, CT
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Location Map

Not to Scale



Legend

- SITE BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TREE PROTECTION FENCE
- FENCE
- WETLAND BOUNDARY
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING TREE
- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED WALKWAY
- PROPOSED GROUNDCOVER
- PROPOSED GRAVEL
- PROPOSED TURF

List of Drawings

- L-1 Specifications
- L-2 Grading, Drainage & Layout Plan
- L-3 Planting Plan
- L-4 Details
- L-5 Details

Base map source:
 Digital survey entitled
 "Drawing Number 102430ws"
 by Sourati Engineering Group
 LLC, dated 3/3/2021

Date	Issue
4-20-21	Owner review
4-23-21	Permitting & Approvals

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approximate lot area
 6.9± acres

GENERAL CONDITIONS

The Owner's Representative for site work shown on these drawings shall be the Luseo Engineering. Contact: Kevin A. Goldstein – Managing Director 7875 SW 104 Street, Suite 203 Miami, Fl 33156 Tel: +1 305 351 2960 Mob: +1 305 343 9004 Email : kgoldstein@luseogroup.com

Existing Conditions information is taken from available survey data and is intended to show the general existing conditions of the site at the time the survey was prepared. It does not necessarily represent actual or detailed conditions as they may currently exist.

The Contractor shall familiarize himself/herself with the property boundaries. Absolutely no access onto, or use of, adjacent sites shall be permitted.

Prior to all excavation the Contractor shall contact "Call Before You Dig" in full conformance with applicable regulations.

Contractor shall provide all labor, materials and equipment to perform mobilization and contract closeout as specified herein.

Mobilization shall include all pre-construction items needed to successfully set up the site for construction operations including but not limited to access improvements, dewatering , protecting utilities and vegetation, compliance with permit requirements, etc.

Staging area(s) shall be determined in the field by Pouder Design and Contractor.

Cleanup shall be conducted after the work is completed and before final inspection of the work by the Owner. Cleanup shall include removal of all excess materials from the site and the restoration of all areas damaged during the work to their original condition.

It is the Contractor's responsibility to proceed with the utmost care in executing the work.

The Contractor shall verify existing conditions in the field prior to commencement of work and shall notify Pouder Design in writing of all discrepancies. The Contractor shall accept actual field conditions upon which to complete the work of the base bid. No change orders will be accepted based upon variations from the conditions shown. All work requiring modification of the plans shall be determined by the Owner's Representative.

The Contractor shall repair at his/her expense all utilities, vegetation and facilities disturbed by construction and noted on the drawings to remain undisturbed to their original condition and to the satisfaction of the Owner's representative and appropriate regulatory agency, if any.

Contractor shall immediately notify the Pouder Design of all discrepancies between the specifications, construction drawings and site conditions. In the case of a discrepancy between the specifications and drawings, the more stringent requirement shall apply.

Prior to all construction activities, the Contractor shall conduct a thorough investigation of surface and subsurface conditions to determine the extent of work required to complete the project and shall include all such costs in the Base Bid.

Contractor shall comply with applicable Town, State and Federal permit requirements, guidelines, and laws.

The Contractor shall indemnify and hold harmless the Owner and Owner's Representative from all claims arising from work done at the site.

Contractors shall coordinate their work with that of other trades working at the site.

The Contractor is responsible for conducting his work in a safe and responsible manner. All activities at the site shall be conducted in accordance with the latest OSHA requirements and regulations.

All unsuitable, excess, and unusable materials including but not limited to soil, fill, rocks, stumps, roots and construction debris shall be removed from the site and disposed of in a legal manner by the Contractor and at the Contractor's expense. No burying of debris on-site will be allowed.

These drawings and specifications, including the ideas, design and arrangements represented thereby are the property of The Pouder Design Group, P.C.. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared without the express written consent of The Pouder Design Group, P.C.

Use written dimensions only. Do not scale dimensions.

Prior to any demolition, contractor shall notify Pouder Design at least 48 hours before work is scheduled to begin.

Trees to be preserved on the site shall be protected against damage during construction operations.

No material shall be stored or construction operation shall be conducted within the tree protection fencing. Tree protection shall remain until designated to be removed by Pouder Design and then shall be removed from the site. Minimum limits of tree protection shall be the drip line of the tree.

Any damage done to existing tree crowns or root systems shall be repaired immediately. Roots exposed and/or damaged during construction shall be cut off cleanly inside the exposed or damaged area and topsoil shall be immediately placed over the exposed root area. Damaged trees shall be watered and protected from future damage.

All branch pruning, root pruning and fertilization work to be performed by a certified licensed Arborist and reputable tree care company. All pruning work to be completed in accordance with standards set forth by the National Arborist Association.

Exploratory testing is the Contractor's responsibility.

Dewatering and maintenance of surface runoff during the course of work shall be the Contractor's responsibility and shall be performed in accordance local, state, and federal regulations.

Contractor shall provide and install all materials and shall perform all work in accordance with recognized good standards of practice.

Measurement and payment for GENERAL CONDITIONS shall be included in all other items and no separate payment shall be made for this item.

REMOVALS

Under this item the Contractor shall perform such site preparation, demolition, clearing and grubbing as is necessary within the Project Area in order to install the required facilities. This shall include such work as installing temporary protective fencing, tree protection fencing, removing shrubbery, trees, roots, stumps, organic matter, masonry, block walls, fences, sidewalks, curbs, signs, concrete walls and slabs, any and all pavements, large boulders on top of the ground, footings, rubbish and other objectionable materials as directed by the LA.

Strip and remove turf, topsoil and organic matter in all areas intended to be replaced with pavements, safety surfaces, walks and walls.

Do not interfere with the operations of other trades working at the site.

Install temporary protective fencing around work area and tree protection fencing around plants to be retained. Fencing shall not obstruct safe passage or visibility.

Trees and other features noted to be retained shall be saved. The Landscape Architect shall have the final authority on the removal of all trees. Any trees removed contrary to the orders of the Landscape Architect shall be replaced at the Contractor's sole expense.

Structures and utilities shall be suitably protected from damage, including but not limited to existing lighting, buildings, walls, fencing and utilities.

All materials removed under this item which are not to be replaced or allowed in the backfill shall be disposed of off-site by the Contractor. Burning is prohibited.

All tree trunks, limbs and brush, concrete, pavements and debris become the Contractor's property, and shall be removed from the site. All stumps shall be ground or cut flush.

Fill all depressions caused by the clearing and grubbing operations.

Remove temporary fencing following completion of work.

Final grades shall be established as quickly as possible to provide permanent stabilization.

Graded or clear areas subject to erosion for six months or less shall be stabilized with a mulch cover where seeding may not have a suitable growing season to produce an erosion retardant cover.

Any disturbed areas not otherwise finished shall be seeded with grass seed and revegetated.

All drains or catch basins shall be protected with hay bale filters (nitrge protection) throughout the construction period or until the stormwater management system is complete, stabilized and deemed ready to be "on-line".

Measurement and payment for REMOVALS AND SITE PREPARATION shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall be made.

GRADING, EXCAVATION AND EARTHWORK

Under this item, the Contractor shall conduct grading, excavation and earthwork operations as is necessary in order to install the required facilities.

Locate site utilities using utility marking service. Contact "Call Before You Dig" at 811, or on-line, in full accordance with applicable regulations. Provide Owner's Representative with ticket number.

Grading, Excavation and Earthwork shall include cutting, filling, grading and compacting subsoil for site work, including drainage structures and piping.

Contractor shall coordinate field adjustments with the Landscape Architect.

Strip and stockpile topsoil for reuse during planting operations.

Transitions from new surfaces to existing surfaces shall be smooth, unless otherwise noted.

Unless otherwise noted, stabilize all slopes equal to, or in excess of 2:1 slopes with 100% biodegradable erosion control blankets, type "CS2" 70% straw, 30% coconut fiber. Source: New England Wetland Plants, Amherst MA, or equal approved by LA.

All grades to be reviewed with Pouder Design prior to final acceptance.

All proposed utilities shall be constructed in accordance with applicable code requirements.

Frames, grates, and covers shall be flush with existing adjacent grades. All structures to remain shall be protected unless otherwise noted to be demolished.

The contractor shall check and verify all proposed grades, dimensions, existing conditions and utilities and report all discrepancies to the LA, for his direction before proceeding with the work. All grading work shall be staked out using grade stakes. Obtain the LA's approval of stake out prior to beginning work.

All pavements, lawns and plant beds shall have a 2% (min) pitch that allows positive drainage away from buildings and in the direction of a drainage course or structure.

All final grading shall be approved by the LA, prior to planting, seeding or sodding.

Deposit fill and backfill in layers not more than 4 in. loose depth for material compacted by hand-operated compaction equipment, and not more than 6" for material compacted by track machinery. Soil and subsoil which has been compacted by wheeled machinery and/or site construction shall be loosened to permit proper drainage and infiltration to the satisfaction of the Owner's Representative.

Achieve a compaction of 95% maximum dry density as determined by ASTM D1557 for all subgrade areas.

Where utilities are to remain in place, provide adequate means of protection and precaution during operations. Conform to the requirements of the utility company having jurisdiction. Should uncharted, or incorrectly charted underground or other utilities be encountered during earthwork operations, immediately consult the utility owner for directions.

Cooperate with the owner and public and/or private utility companies in keeping their respective services and facilities in operation. Do not interrupt existing utilities serving facilities occupied and used, except when permitted in writing by the Owner's Representative, and then only after acceptable temporary utility services have been provided. Provide a minimum 48 hour notice to LA.

Verify that survey benchmark and intended elevations for the work are as indicated. Identify required lines, levels, contours, and datum. Protect benchmarks, survey control points, existing structures, sidewalks, paving, and curbs from excavating equipment and vehicular traffic.

Excavation is unclassified, and includes excavation to subgrade elevations indicated, regardless of the character of materials and obstructions encountered. If unsuitable materials (as determined by soils testing service) are encountered at the required subgrade elevations, carry excavations deeper and replace the excavated material as directed by the LA. Remove unsuitable material from the site. Prevent surface and subsurface water from flowing into excavations and dewater as necessary.

Do not excavate wet subsoil.

When excavating through roots of trees to remain, perform work by hand and cut roots with sharp saw.

Maintain optimum moisture content of fill materials to attain required compaction density.

Where settling is measurable or observable at graded areas during the general project warranty period, remove surface (pavement, lawn or other surface), add appropriate backfill material, compact and replace surface treatment. Restore appearance, quality and condition of surface or finish to match adjacent work, and eliminate evidence of restoration to greatest extent possible.

Measurement for GRADING, EXCAVATION AND EARTHWORK shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall be made.

GRANITE EDGING

Under this item, the Contractor shall furnish and install GRANITE EDGING in accordance with the plans, specifications, and directions of the LA.

Edging shall be in size, color, surface finish and thickness as shown on the drawings and approved by LA and Owner. Sample required.

Foundation Material: 3000 PSI Concrete

The LA reserves the right to reject on or after delivery any material which does not, in their opinion, meet these specifications.

Contractor is advised that multiple shallow sub-surface utilities exist in the immediate vicinity of the work. The utmost care shall be used in excavating for, and installing the edging to assure that no damage to existing utilities occurs. Any damage to existing utilities shall be repaired to the satisfaction of the Owner's Representative at the Contractor's sole expense. Trenching shall be by hand only. No mechanical equipment shall be used for trenching.

Edges, borders, and corners shall be finished to true and neat lines. Special cutting and variations in size and finish, are all to be included in the bid price. No sawn edges permitted on exposed top edge.

Before edging is placed the fine grade shall be prepared to line and grade and compacted with an approved self-propelling roller or tamper. All hollows and depressions which develop under rolling shall be filled with acceptable material and shall again be rolled. This process of shaping, filling, and rolling shall be repeated until no depressions develop.

The Contractor shall remove from the subgrade all debris, foreign material, and all other undesirable material designated by the L.A.. The fine grade shall not be muddy or otherwise unsatisfactory when the foundation material is placed upon it. If the fine grade becomes rutted or displaced, due to any cause whatsoever, the Contractor shall regrade same without additional payment.

Concrete foundation shall be laid in an excavated trench.

Pavers shall be clean when placed and shall be tightly fitted. Pavers which are not satisfactorily clean shall be washed before placing. The pavers shall be placed as per approved patterns, true to line and grade unless otherwise noted on the plans.

After the pavers are placed, topsoil shall be backfilled into the trench compacted. All joints shall be completely filled. After the joints are completely filled, the pavement shall be swept clean.

Samples: The Contractor shall submit two (2) samples of the pavers they propose to use for approval by the LA. All pavers used on the work shall conform to the approved samples. All samples shall be clearly labeled with Contract No., manufacturer, color, and finish.

Measurement and Payment for STONE EDGING shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall be made.

DRIVEWAY TURF & GRAVEL

Under this Item, the Contractor shall furnish and install DRIVEWAY TURF & GRAVEL to restore the existing driveway consisting of two tire lanes and a parking area of decorative gravel over a processed stone base, and a central strip of grass over topsoil.

Gravel shall be as selected by Owner.

Topsoil shall be as specified under Planting.

Turf Seed shall be Jonathan Green Black Beauty Heavy Traffic Grass Seed, or equal consisting of Tall Fescue and Perennial Rye

Gravel strips: The Contractor shall remove all debris, foreign material, and all other undesirable material designated by the LA within the gravel strips and the parking area and shall smooth out potholes and high spots. Processed stone shall be added as necessary and compacted with a plate tamper to create a uniform surface of the travel lanes.

Gravel shall be spread over the travel lanes and compacted

Turf Strip: The Contractor shall remove all debris, foreign material, and all other undesirable material designated by the LA and shall smooth out potholes and high spots. Topsoil shall be added as necessary to provide a 6" depth throughout the grass strip and shall be raked.

Grass seed shall be evenly spread and mulched with weed free straw and rolled.

Samples: The Contractor shall submit two (2) samples of the gravel they propose to use for approval by the LA. All gravel used on the work shall conform to the approved samples. All samples shall be clearly labeled with Contract No., manufacturer, color, and finish.

Measurement and Payment for DRIVEWAY TURF & GRAVEL shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall be made.

LAYOUT:

Contractor shall stake out all work in the field according to the layout plan prior to initiating construction. Layout shall be field verified by Landscape Architect and/or Engineer prior to construction.

Contractor shall prepare an As-Built Plan showing locations of all subsurface utilities encountered during construction as well as all utilities installed as part of construction.

Blend in all new grades with smooth transitions to existing conditions.

All work shall be done in strict conformance with applicable codes, standards, rules and regulations.

Contractor shall provide and install all materials and shall perform all work in accordance with recognized good standards of practice.

All dimensions and radii are to face of curb or face of wall at downhill grade unless otherwise noted.

Coordinate utility work with the locations and final grades of all other work. Where conflicts occur, notify the LA prior to installation of utilities and make adjustments as required. If new utilities have been installed in conflict of curbs, walls, pavings or other structures at depths too shallow for proper cover beneath final new grades or incorrect finish grade, they shall be adjusted or removed and replaced as necessary without extra compensation.

Expansion joints shall occur in all concrete slabs and walls as shown on drawings but in no case shall they be more than 20 ft. apart unless otherwise noted. Expansion joints are to be located at all buildings, curbs, steps, and walls abutting new concrete slabs.

Staging area(s) shall be determined in the field by the Owner's Representative and Contractor.

Measurement and payment for LAYOUT shall be included in all other items and no separate payment shall be made for this item.

POOL ENCLOSURE FENCE

Under this item, the Contractor shall provide and install new pool enclosure fences, gates, planters, and stainless steel deck guardrails with welded posts in accordance with the plans, specifications and directions of the LA.

All components of the pool enclosures shall fully conform with Commonwealth of Massachusetts and Town of Chilmark pool enclosure standards.

Miscellaneous hardware shall be included in this item.

Planters which form part of the pool enclosure system shall be securely fastened to the existing deck.

Pedestrian gates shall be self-closing and equipped with Magnalatch Series 3 Top pull latch installed in full accordance with manufacturer's recommendations.

MEASUREMENT AND PAYMENT: The quantity of POOL ENCLOSURE FENCE AND DECK GUARDRAIL shall be a lump sum and shall include all items described under this item and no separate quantity measurement shall be made.

STONE PAVERS Under this Item, the Contractor shall furnish and install STONE PAVERS in accordance with the plans, specifications, and directions of the Engineer.

Pavers shall be in size, color, surface finish and thickness as shown on the drawings and approved by LA and Owner. Sample required.

Setting Bed: Stone dust used for setting beds and joints shall be crushed granite

Foundation Material: Material for foundation shall consist of straight three-quarter (3/4") inch coarse aggregate per ASTM C333, free from organic or other deleterious material.

The LA reserves the right to reject on or after delivery any material which does not, in their opinion, meet these specifications.

The design of pavers shall be subject to approval by the L.A.. All edges, borders, and corners of paved areas shall be finished to true and neat lines. Special cutting, soldier courses, color patterns, various shapes, and variations in size and finish, are all to be included in the bid price.

Before any pavers are placed upon the fine grade, the fine grade shall be prepared to line and grade and compacted with an approved self-propelling roller or tamper. All hollows and depressions which develop under rolling shall be filled with acceptable material and shall again be rolled. This process of shaping, filling, and rolling shall be repeated until no depressions develop.

The Contractor shall remove from the subgrade all debris, foreign material, and all other undesirable material designated by the L.A.. The fine grade shall not be muddy or otherwise unsatisfactory when the foundation material is placed upon it. If the fine grade becomes rutted or displaced, due to any cause whatsoever, the Contractor shall regrade same without additional payment.

Material for Foundation shall be evenly spread on a prepared sub-grade in the position shown on the plans or directed by the L.A., in four inch (4") layers, each layer to be rolled with a vibratory plate compactor other approved method satisfactory to the L.A, to the thickness shown on the plans or as directed by the L.A.

Pavers shall be clean when placed. Pavers which are not satisfactorily clean shall be washed before placing. The pavers shall be placed as per approved patterns, true to line and grade unless otherwise noted on the plans, joints shall be as shown on the drawings.

After the pavers are placed, topsoil shall be placed between stones and compacted. All joints shall be completely filled. After the joints are completely filled, the pavement shall be swept clean.

Samples: The Contractor shall submit two (2) samples of the pavers they propose to use for approval by the LA. All pavers used on the work shall conform to the approved samples. A three-pound (3 lb.) bag of proposed foundation material and stone dust shall be submitted for approval, with a sieve analysis and name of supplier attached. All samples shall be clearly labeled with Contract No., manufacturer, color, and finish.

Measurement and Payment for STONE PAVERS shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall be made.

PLANTING:

Planting shall include finish grading, placement of topsoil, planting of trees, shrubs, perennials, groundcovers and lawns, and mulching, in accordance with the Contract Documents.

All plant material shall be nursery grown and shall meet standards of the American Standard for Nursery Stock, ANSI Z.60.1, latest edition unless otherwise noted. All plants shall be subject to the Landscape Architect's inspection and approval at the nursery and at the site before any planting work is begun. Plants with excessive girdling or circling roots and/or any other deformities may be rejected at the sole discretion of the Landscape Architect.

Provide topsoil to assure a minimum 6" depth of topsoil in all planting beds and lawn areas. Topsoil mix shall be uniform quality, fertile, friable, natural loam or sandy loam free of subsoil, clay lumps, brush, stones, hard pan or other deleterious materials larger than 2 inches in greatest dimension, lime, cement, ashes, slag, concrete, tar residues, tarred paper, boards, chips, sticks and other undesirable material.

pH range: 5.5 - 7.6

Organic Content: 5% - 20%

Natural topsoil may be amended with approved materials, by approved methods, to meet the above specifications.

Fertilizer shall be ROOTS brand microrhizal fungi inoculant or approved equal and shall be applied in accordance with manufacturer's recommendations.

Mulch shall be natural color; shredded cedar bark mulch free from deleterious materials. Provide mulch sample to LA, for approval prior to installation. Absolutely no dyed or colored mulch shall be accepted.

Deciduous plants shall be planted between March 1 and December 15, or as approved by the LA. Evergreen plant materials shall be planted between April 1 and October 15, or as approved by the LA.

Planting pits shall be excavated to the dimensions as shown on the drawings. Do not excavate to depth greater than required. Where, in the sole opinion of the LA, the subgrade material is unsuitable, the width of the planting pit shall be increased in size by 50%.

All excess and unusable materials shall be removed from the site by the Contractor.

Locations of all new plants shall be verified in the field with the LA. Contractor shall layout all plants in their proposed locations for inspection and approval by LA to planting.

Plants shall be placed plumb in the center of planting pits. Bed edges shall be neatly spade cur.

Leave the site in clean, satisfactory condition ready to receive

Protect all existing vegetation to remain from damage during construction.

Use extreme caution to protect utilities during planting.

It is the intent of this contract to avoid any disturbance to existing vegetation on the site other than those specifically designated for removal. Adjustments shall be made in the field at the direction of the LA.

The contractor shall familiarize himself with the location of mechanical equipment and utilities existing or proposed in the area to be planted and shall, where necessary, relocate plants at the direction of the LA.

Quantities given in the plant list are for reference only. The contractor shall verify all quantities shown on the list and shall be responsible for furnishing all materials required to complete the plants.

The contractor shall verify all grades, dimensions, and existing conditions and report any discrepancies to the LA.

Contractor shall guarantee all plant material for one year from time of LA's final written approval.

Contractor to coordinate planting, seeding and tree work with other trades.

Contractor responsible for restoring all areas disturbed due to planting operations.

Contractor's base bid shall include twice-weekly hand watering of all new plantings and seeded areas for the duration of the first growing season or for two months, whichever is longer. Use 20-gallon "TreeGator" bags on all trees.

The measurement of PLANTING shall be the number of plants of each size planted and maintained, in accordance with the plans and specifications, to the satisfaction of the LA. Payment for PLANTING shall be a unit price per EACH plant of each size, as specified in the Plant Schedule, including all incidentals in accordance with the plans and specifications.

L-1 Specifications

Leff-Knight Residence

1 Azalea Lane

Chilmark, Mass

16 April, 2021

Pouder Design Group

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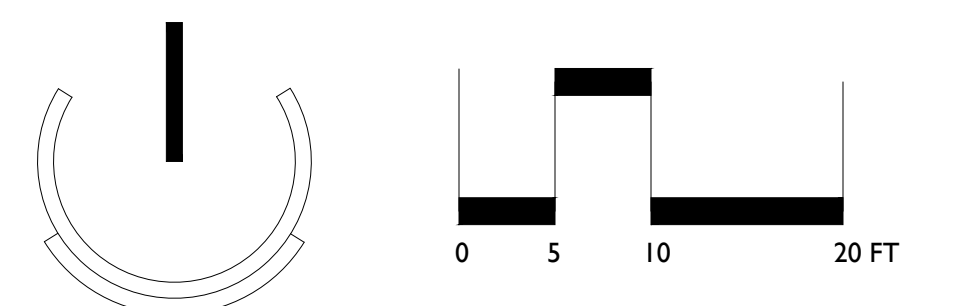
L-2 Grading & Layout Plan Leff-Knight Residence

1 Azalea Lane
Chilmark, Mass
16 APRIL 21

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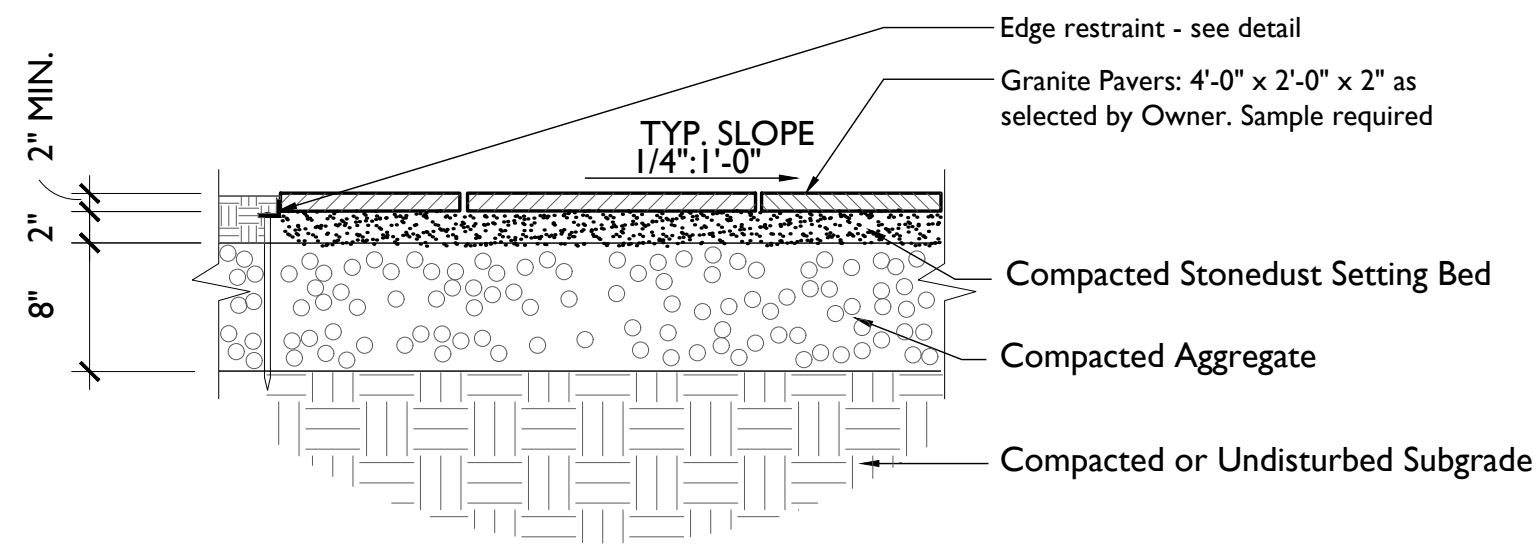
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L-4 Details Leff-Knight Residence

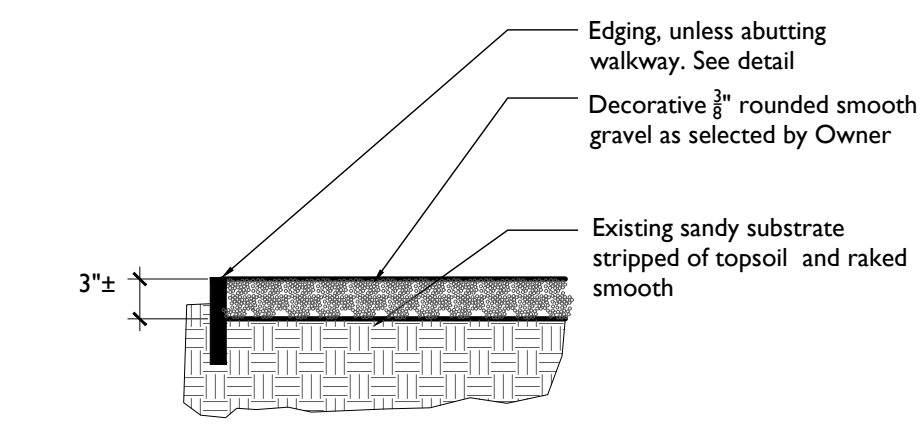
1 Azalea Lane
Chilmark, Mass
16 APRIL 21

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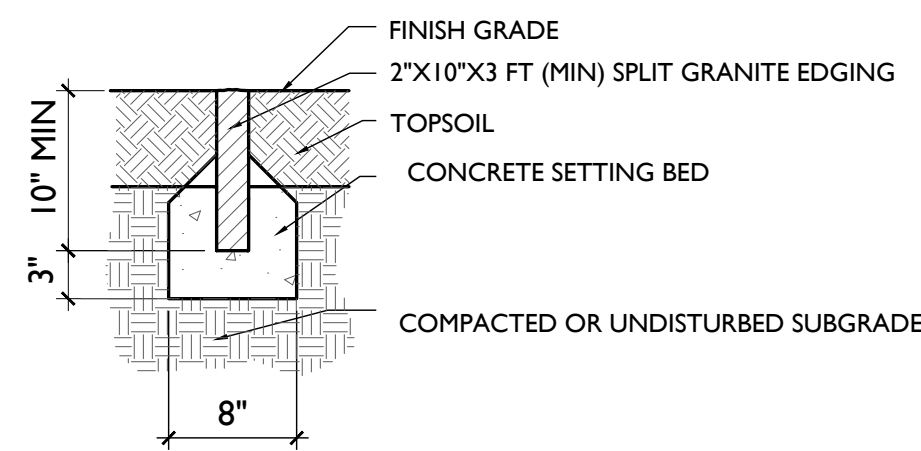
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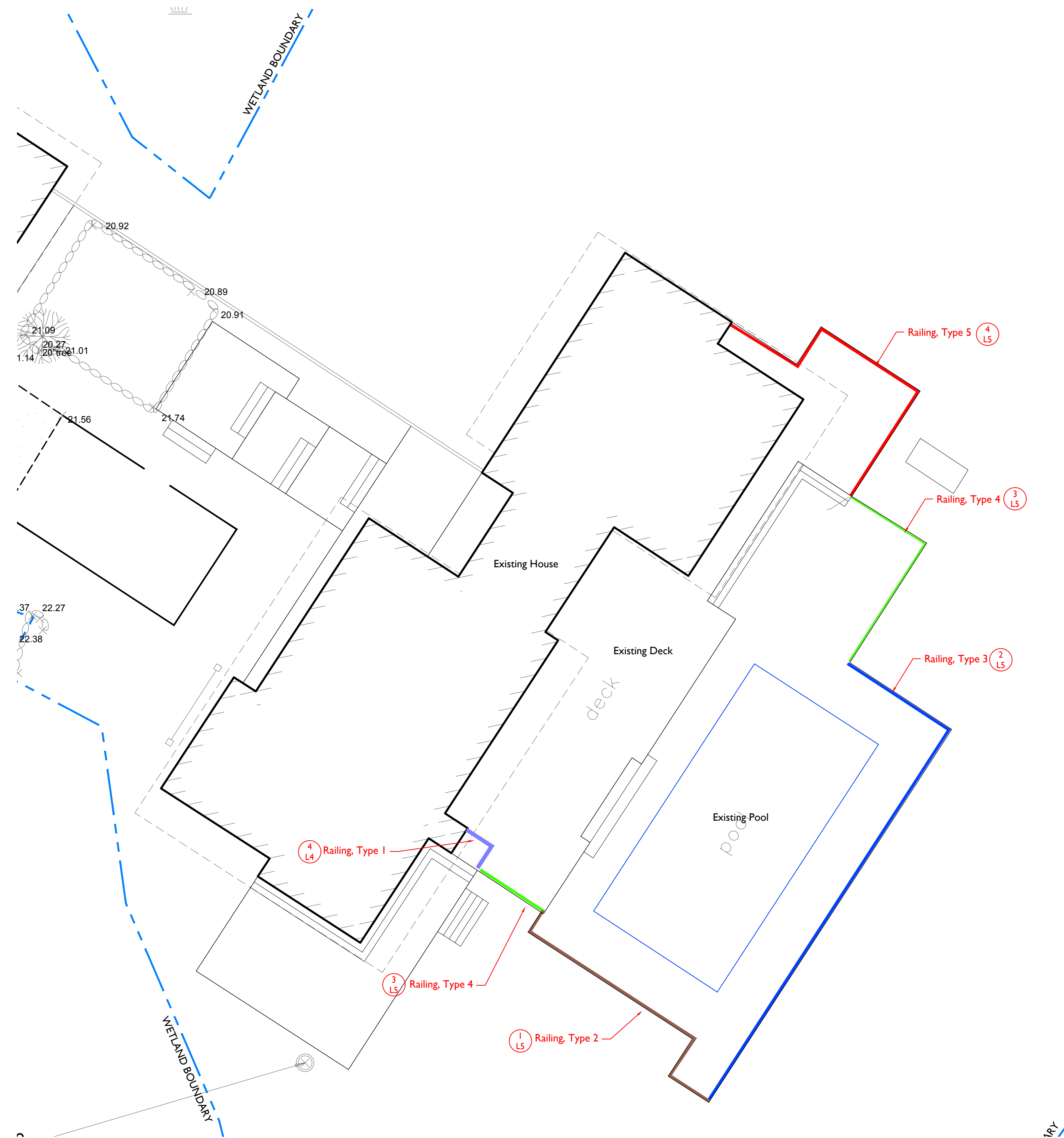
1 Granite Walkway on Stonedust
Scale: 3/4"=1'-0"



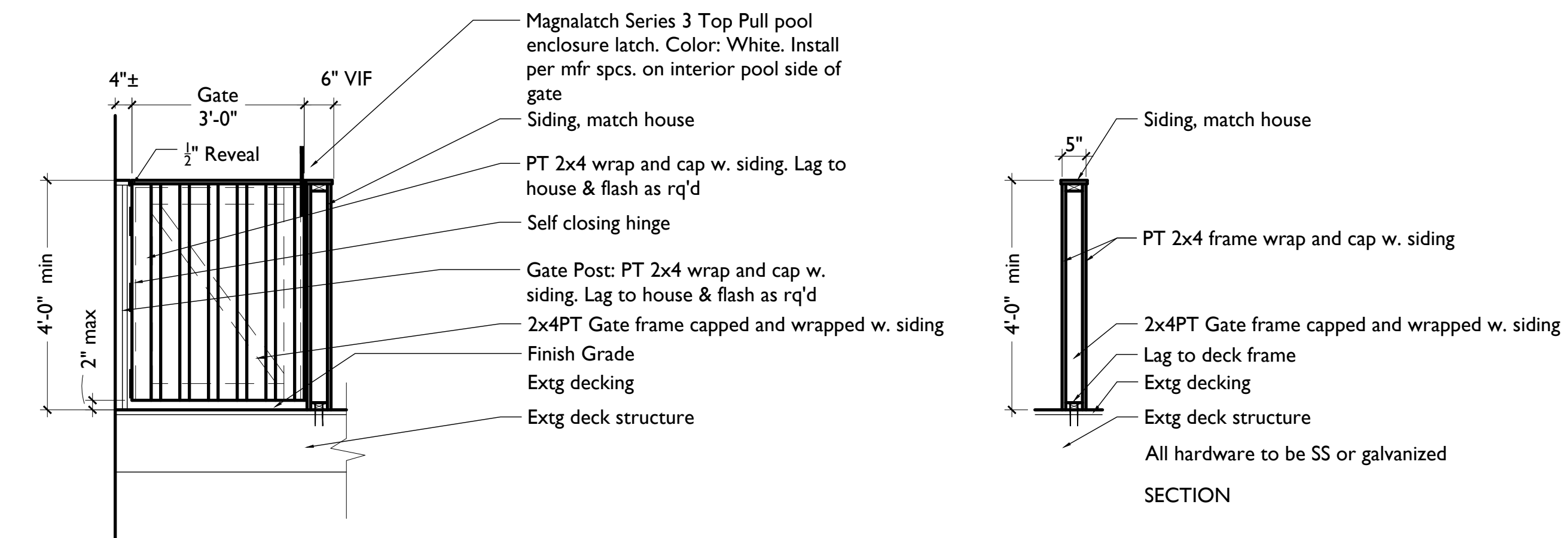
2 Gravel Bed
SCALE: 1/2"=1'-0"



3 Granite Edging
SCALE: 1"=1'-0"



Fence Key Plan



4 Pool Enclosure & Deck Guardrail, Type 1
Scale: 1/2" = 1'-0"

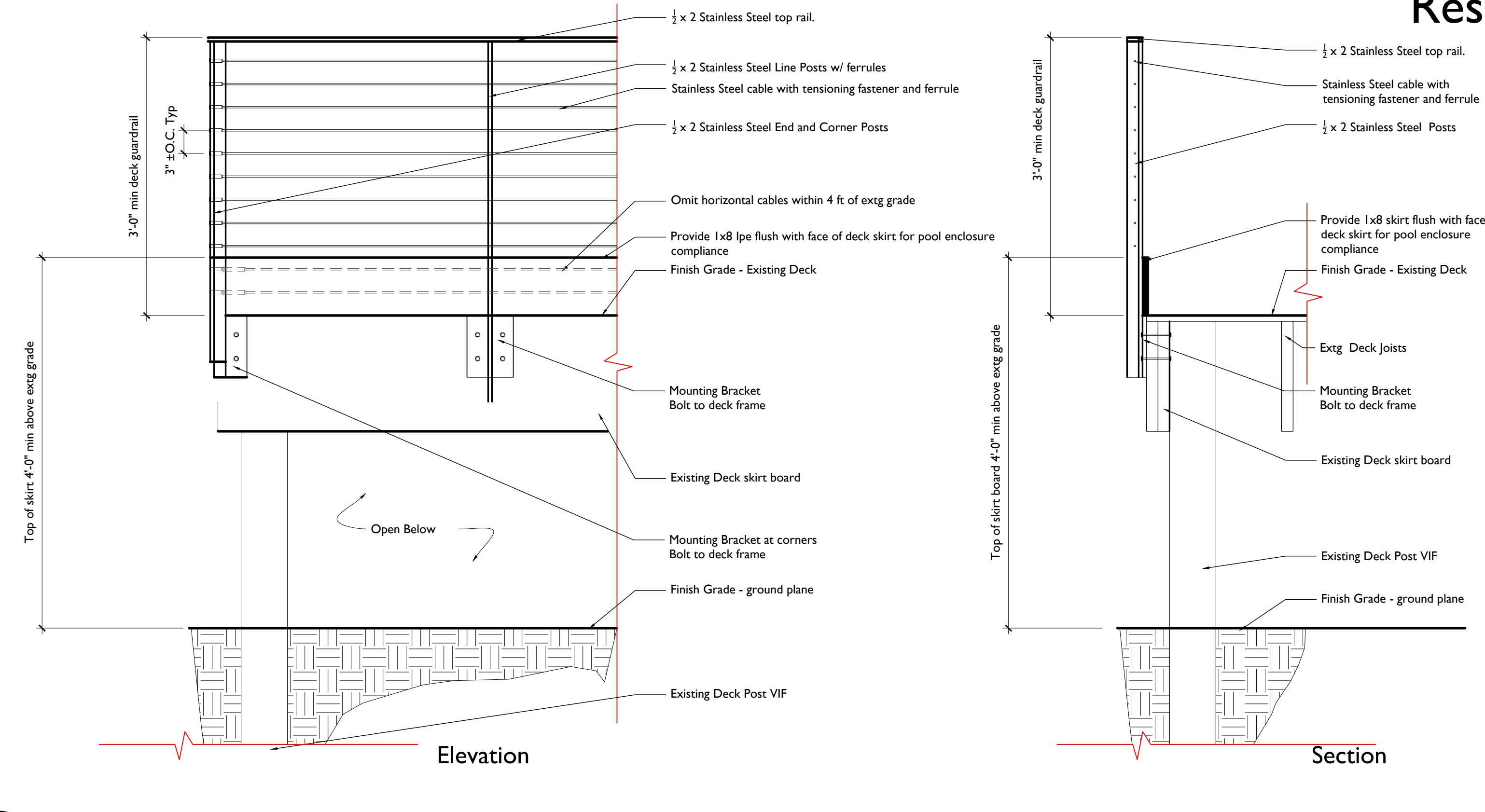
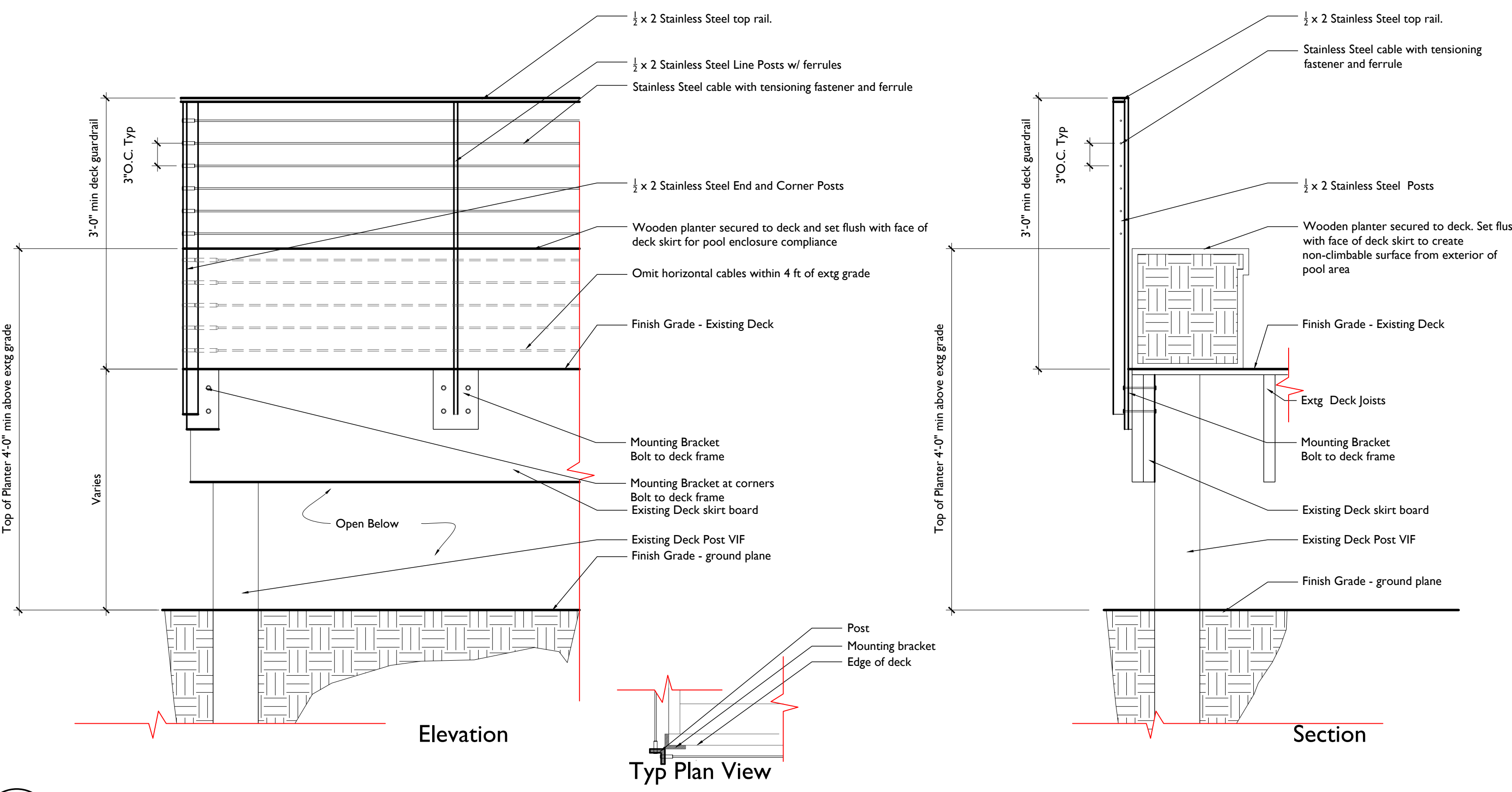
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L-5 Details Leff-Knight Residence

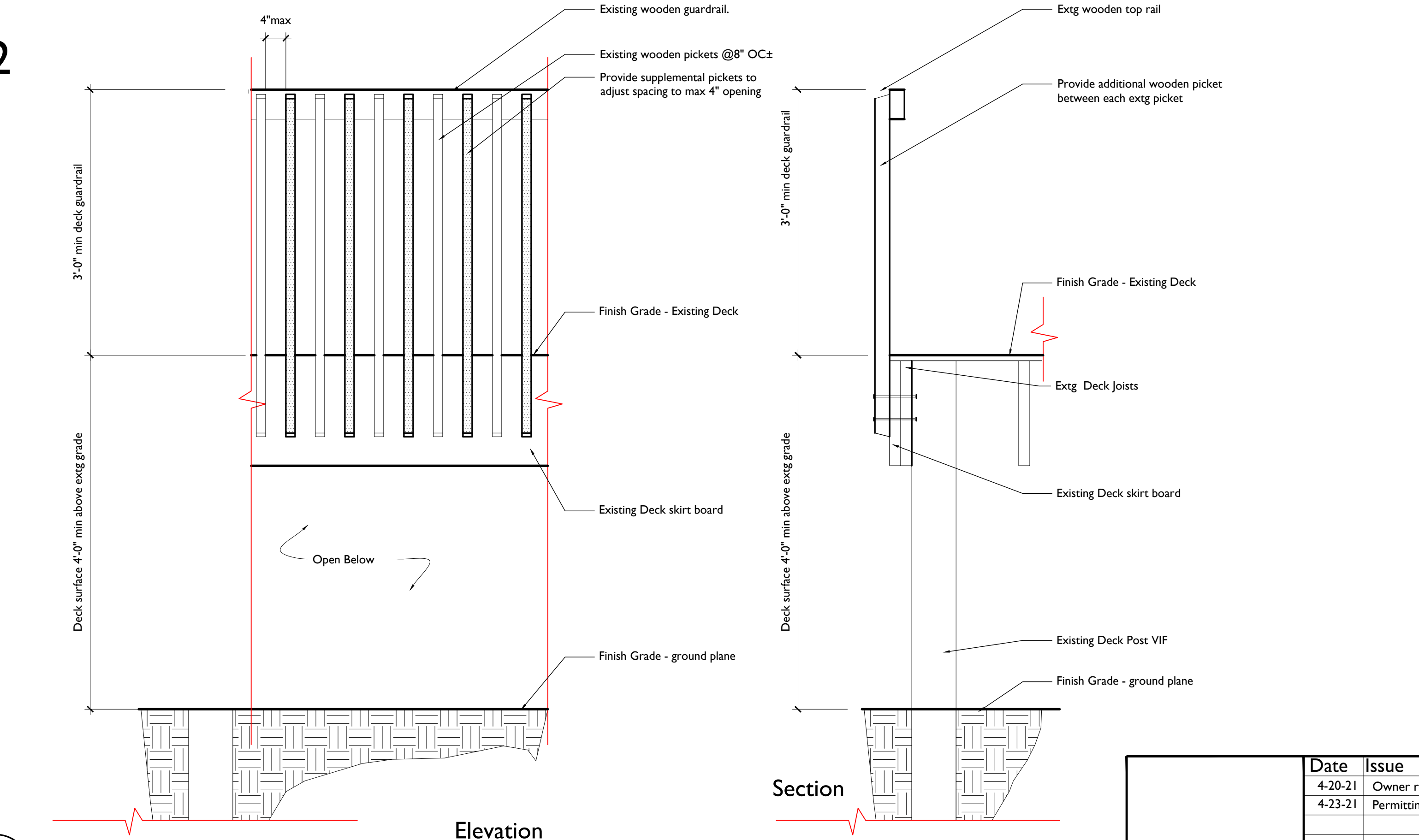
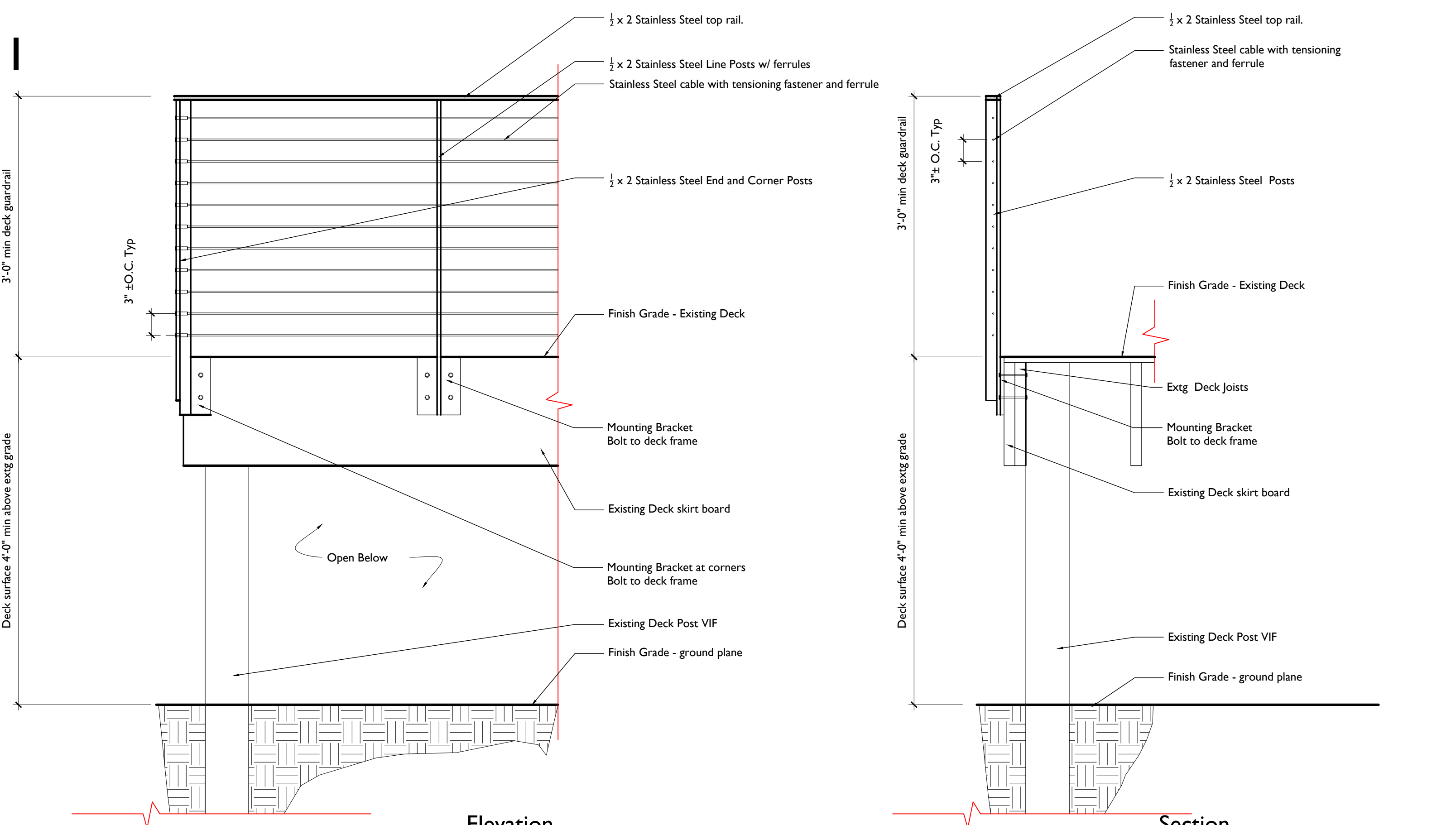
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Pool Enclosure & Deck guardrail, Type 2
Deck approx 30-36" above extg grade
Not to Scale

Pool Enclosure & Deck Guardrail, Type 3
Deck slightly less than 48" above extg grade
Not to Scale



Pool Enclosure & Deck Guardrail, Type 4
Deck 48" or more above extg grade
Not to Scale

Pool Enclosure & Deck Guardrail, Type 5
Deck 48" or more above extg grade with existing wooden guardrail
Not to Scale

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