



www.souratigroup.com

Martha's Vineyard Office
107 Beach Rd., Suite 202
P.O. Box 4458, Vineyard Haven, MA 02568
Phone: 508-693-9933, Fax: 508-693-4933

Nantucket Office:
35 Old South Road, Nantucket, MA 02554
Phone: 508-228-7888, Fax: 508-228-5511

May 13, 2021

Chilmark Conservation Commission
P.O. Box 119
Chilmark, MA 02535

RE: **Adam B. Leff**
Map 29, Parcel 5
1 Azalea Lane, Chilmark, MA
Restoring Pool and Landscaping

Dear Commission Members:

Please find enclosed an original and a copy of a Notice of Intent and its supporting documents for proposed work at the above referenced property. Enclosed is a check for \$67.50 for the town filing fee.

Supporting documents enclosed:

- USGS map
- NHESP map
- Copy of WPA Appendix A Wetland Fee Transmittal Form
- Copy of filing fee checks to the Commonwealth of Massachusetts and the Town of Chilmark
- Notice to Abutters, Abutters List, Assessor's Map and Affidavit of Service
- Landscape Construction Documents prepared for the Leff/Knight Residence in Chilmark, MA by Pouder Design Group dated April 23, 2021.
- Site Plan in Chilmark, MA prepared for Adam Leff by Sourati Engineering Group, LLC dated May 13, 2021.

Please feel free to contact me directly if you have any questions.

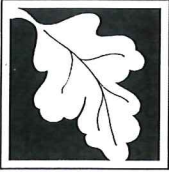
Sincerely,

A handwritten signature in black ink that reads "George A. Sourati".

George A. Sourati, P.E.

Cc: DEP-Wetlands Section-Southeast Regional Office

SEG 102430



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40
and the Chilmark Wetlands Protection Bylaws

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Chilmark

City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

1 Azaela Lane Chilmark 02535
a. Street Address b. City/Town c. Zip Code
Latitude and Longitude:
41.339480 -70.732690
d. Latitude e. Longitude
29 5
f. Assessors Map/Plat Number g. Parcel /Lot Number

2. Applicant:

Adam B. Leff
a. First Name b. Last Name
c/o Kevin Goldstein, LUSEO Group,
c. Organization
7875 SW 104th Street, Suite 203
d. Street Address
Miami FL 33156
e. City/Town f. State g. Zip Code
h. Phone Number i. Fax Number j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

a. First Name b. Last Name
c. Organization
d. Street Address
e. City/Town f. State g. Zip Code
h. Phone Number i. Fax Number j. Email address

4. Representative (if any):

George A. Sourati
a. First Name b. Last Name
Sourati Engineering Group, LLC
c. Company
107 Beach Road, Suite 202; PO Box 4458
d. Street Address
Vineyard Haven MA 02568
e. City/Town f. State g. Zip Code
(508) 693-9933 (508) 693-4933 gsourati@souratigroup.com
h. Phone Number i. Fax Number j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$220.00 \$97.50 \$122.50
a. Total Fee Paid b. State Fee Paid c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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Chilmark
City/Town

A. General Information (continued)

6. General Project Description:

The project consists of restoring the pool and pool deck area to comply with Massachusetts State Building Codes and relandscaping. No increase in decks or other structures are proposed.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Dukes	
a. County	b. Certificate # (if registered land)
1552	957
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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Bureau of Resource Protection - Wetlands

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input checked="" type="checkbox"/> Bordering Vegetated Wetland	15 1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced

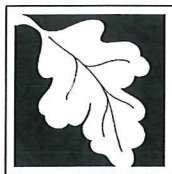
- f. Riverfront Area
1. Name of Waterway (if available) - specify coastal or inland
 2. Width of Riverfront Area (check one):
 - 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects
 3. Total area of Riverfront Area on the site of the proposed project: _____ square feet
 4. Proposed alteration of the Riverfront Area:

a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.
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5. Has an alternatives analysis been done and is it attached to this NOI? Yes No
6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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Chilmark

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4. Restoration/Enhancement
 If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BWV

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

August 1, 2017

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*
1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
 2. Assessor's Map or right-of-way plan of site
2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
- (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed. Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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Provided by MassDEP:

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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

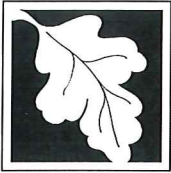
D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

(see attached list)

a. Plan Title

b. Prepared By

c. Signed and Stamped by

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. Attach NOI Wetland Fee Transmittal Form
9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

10220

2. Municipal Check Number

May 13, 2021

3. Check date

102193

4. State Check Number

May 13, 2021

5. Check date

Sourati Engineering Group, LLC

6. Payor name on check: First Name

Sourati

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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Chilmark
City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

George Senaldi

5/12/2021

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



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NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

1 Azalea Lane
 a. Street Address
 10219
 c. Check number
 Chilmark
 b. City/Town
 \$97.50
 d. Fee amount

2. Applicant Mailing Address:

Adam B.
 a. First Name
 c/o Kevin Goldstein, LUSEO Group
 c. Organization
 7875 SW 104th Street, Suite 203
 d. Mailing Address
 Miami
 e. City/Town
 FL
 f. State
 33156
 g. Zip Code
 h. Phone Number
 i. Fax Number
 j. Email Address

3. Property Owner (if different):

a. First Name
 b. Last Name
 c. Organization
 d. Mailing Address
 e. City/Town
 f. State
 g. Zip Code
 h. Phone Number
 i. Fax Number
 j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 1 (a)	2	\$110.00	\$220.00

Step 5/Total Project Fee: \$220.00

Step 6/Fee Payments:

Total Project Fee:	\$220.00
State share of filing Fee:	\$97.50
City/Town share of filling Fee:	\$122.50
	a. Total Fee from Step 5
	b. 1/2 Total Fee less \$12.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



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 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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A. Applicant Information

1. Location of Project:

1 Azalea Lane
 a. Street Address
 10219
 c. Check number
 Chilmark
 b. City/Town
 \$97.50
 d. Fee amount

2. Applicant Mailing Address:

Adam B.
 a. First Name
 c/o Kevin Goldstein, LUSEO Group
 c. Organization
 7875 SW 104th Street, Suite 203
 d. Mailing Address
 Miami
 e. City/Town
 FL
 f. State
 33156
 g. Zip Code

h. Phone Number
 i. Fax Number
 j. Email Address

3. Property Owner (if different):

a. First Name
 b. Last Name

c. Organization

d. Mailing Address

e. City/Town
 f. State
 g. Zip Code

h. Phone Number
 i. Fax Number
 j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

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B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 1 (a)	2	\$110.00	\$220.00

Step 5/Total Project Fee: \$220.00

Step 6/Fee Payments:

Total Project Fee:	\$220.00
State share of filing Fee:	\$97.50
City/Town share of filling Fee:	\$122.50
	a. Total Fee from Step 5
	b. 1/2 Total Fee less \$12.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

DEP File Number:

Provided by DEP

CHILMARK
Town

D. ADDITIONAL INFORMATION

1. USGS Locus Map, Massachusetts – Dukes County
2. Plan identifying the location of proposed activities:
 - Landscape Construction Documents prepared for the Leff/Knight Residence in Chilmark, MA by Pouder Design Group dated April 23, 2021, not to scale.
 - Site Plan in Chilmark, MA prepared for Adam Leff by Sourati Engineering Group, LLC dated May 13, 2021, scale 1"=20'.
3. Identify the method for BVW and other resource area boundary delineations and attach documentation of the methodology:
 - The resource area boundaries were determined using the three-parameter method that incorporates topography, vegetation and soils.
4. Other materials submitted with this NOI
 - Notification to Abutters dated May 10, 2021, Assessor's 300 foot Abutters List Report and Affidavit of Service
 - NHESP Map, date of map August 1, 2017

102430 Leff
1 Azalea Lane, Chilmark, MA
Assessor's Map 29, Parcel 5
USGS Map

SQUIBNOCKET QUADRANGLE
MASSACHUSETTS—DUKES CO.
7.5 MINUTE SERIES (TOPOGRAPHIC)

E LAND) 353 45' 354 355 VINEYARD HAVEN 9 MI. 140 000 FEET 70° 42' 4





102430 Leff
1 Azalea Lane, Chilmark, MA
Assessor's Map 29, Parcel 5
NHESP map dated August 1, 2017

Available Data Layers

- Search data layers
- Tiled Layers
 - State Facilities
 - Census 1990
 - Census 2000
 - Census 2010
 - Coastal and Marine Features
 - Conservation / Recreation
 - Cultural Resources
 - Environmental Monitoring (testing/monitoring sites)
 - Images
 - Index (grids/tiling schemes for certain layers)
 - Infrastructure
 - Physical Resources

Active Data Layers

- Check all Uncheck all Remove
- MassDOT Roads Street Names
 - Major MassDOT Routes
 - Massachusetts Towns
 - NHESP Estimated Habitats of Rare Wildlife
 - NHESP Priority Habitats of Rare Species
 - 2013-2014 Color Orthos (USGS)

Legend

- MassDOT Roads Street Names
- Major MassDOT Routes
 - Interstate Highways
 - US Roads
 - State
- Massachusetts Towns
- NHESP Estimated Habitats of Rare Wildlife
- NHESP Priority Habitats of Rare Species

50 m
100 ft
Scale = 1:4,514
263,821.92m 787,885.20m
2019 Color Orthos (USGS)



www.souratigroup.com

Martha's Vineyard Office
107 Beach Rd., Suite 202
P.O. Box 4458, Vineyard Haven, MA 02568
Phone: 508-693-9933, Fax: 508-693-4933

Nantucket Office:
35 Old South Road, Nantucket, MA 02554
Phone: 508-228-7888, Fax: 508-228-5511

May 13, 2021

**Notification to Abutters Under the
Massachusetts Wetland Protection Act and the
Town of Chilmark Wetlands Protection Bylaws**

Dear Abutter,

In accordance with the second paragraph of the Massachusetts General Laws Chapter 131, Sec. 40, you are hereby notified of the following:

Name of Applicant Is: **Adam B. Leff**

The applicant has filed a Notice of Intent with the Chilmark Conservation Commission seeking the following: **The project consists of restoring the pool and pool deck area to comply with Massachusetts State Building Codes and relandscaping. No increase in decks or other structures are proposed.**

The work is subject to protection under the Wetlands Protection Act (General Laws Chapter 131, Section 40) and the Town of Chilmark Wetlands Protection Bylaws.

The address of the lot where the activity is proposed is:

1 Azalea Lane, Assessor's Map 29, Parcel 5, Chilmark, MA

Notice of the public meeting/hearing, including the date, time and place will be published at least five days in advance in the Vineyard Gazette or the Martha's Vineyard Times, and will be posted in the Chilmark Town Hall no less than forty-eight (48) hours in advance.

Copies of the application can be examined and information about the date, time and place of the meeting/hearing can be obtained from either the Chilmark Conservation Commission office, Chilmark Town Hall, Monday – Friday, 7:30 a.m. to 4:30 p.m. (508-645-2114) or copies of the application may be viewed at Sourati Engineering Group, LLC, 107 Beach Road, Suite 202, Vineyard Haven, MA 02568, (508-693-9933).

You may also contact the Department of Environmental Protection for more information about this application or the Wetlands Protection Act: 508-946-2800.

Sincerely,

A handwritten signature in blue ink that reads "George Sourati".

George A. Sourati, P.E.

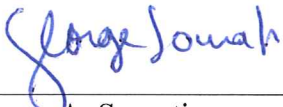
AFFIDAVIT OF SERVICE

Under the Massachusetts Wetland Protection Act
And the Town of Chilmark Wetlands Protection Bylaws

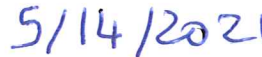
I, George A. Sourati, hereby certify under the pains and penalties of perjury that to the best of my knowledge I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 9, 1994, in connection with the following matter:

A Notice of Intent filed under the Wetlands Protection Act and the Town of Chilmark Wetlands Protection Bylaws by **Adam B. Leff** with the Chilmark Conservation Commission for work at property located at **1 Azalea Lane, assessor's map 29, parcel 5, Chilmark, Massachusetts.**

The form of notification, and a certified list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.



George A. Sourati
Sourati Engineering Group, LLC



Date



102430 Leff, 1 Azalea Ln, 300' Abutter Map

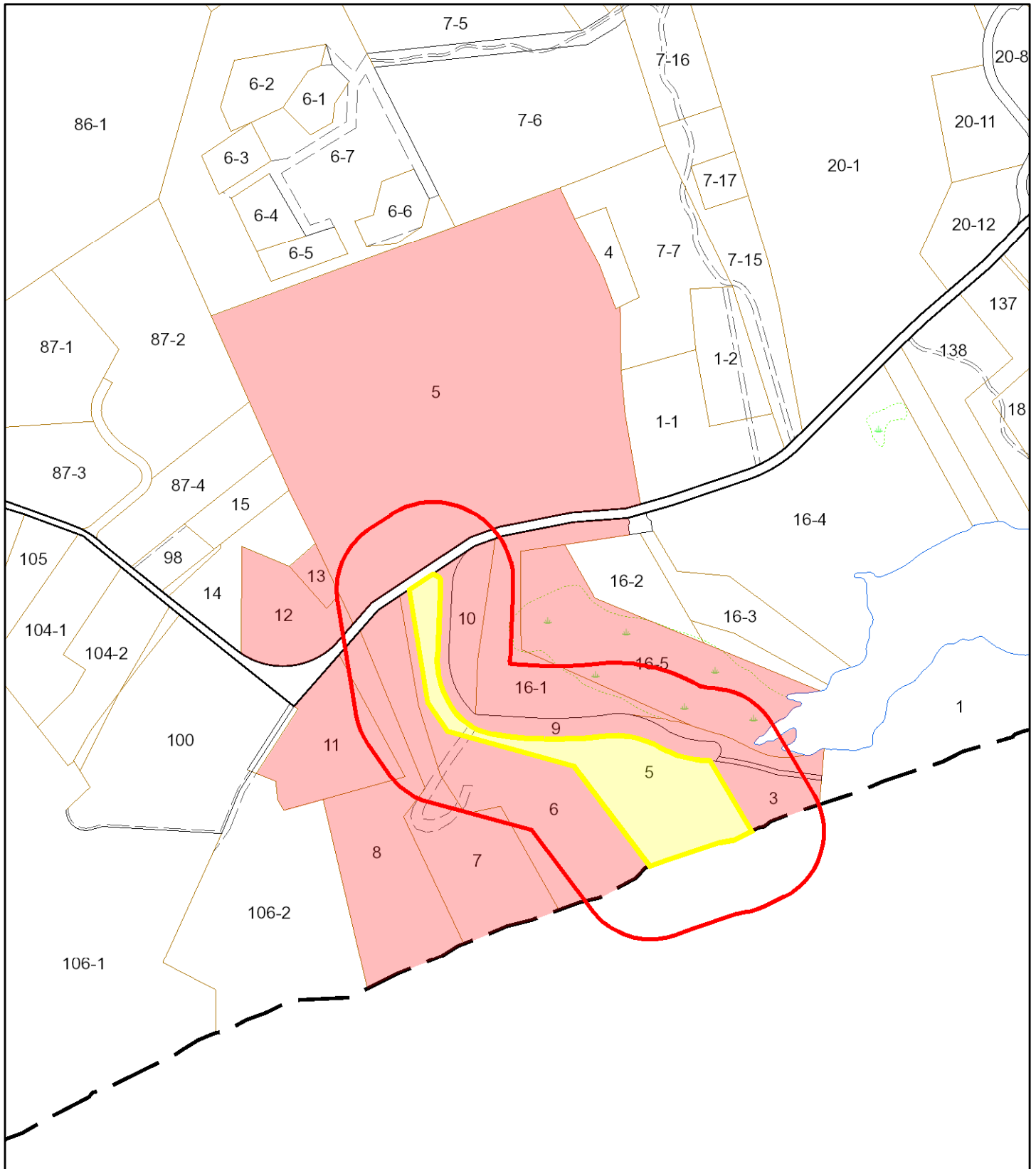
Chilmark, MA



May 10, 2021

1 inch = 565 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 foot Abutters List Report

Chilmark, MA
May 10, 2021

Subject Property:

Parcel Number: 029-005-00
CAMA Number: 029-005-00
Property Address: 1 AZALEA LN

Mailing Address: LEFF ADAM B
9903 SANTA MONICA BLVD. STE#422
BEVERLY HILLS, CA 90212

Abutters:

Parcel Number: 025-005-00
CAMA Number: 025-005-00
Property Address: 451 SOUTH RD

Mailing Address: CHILMARK ASSOCIATES
C/O DAVID OWEN 255 WEST MORRIS
RD
MORRIS, CT 06763-1001

Parcel Number: 029-003-00
CAMA Number: 029-003-00
Property Address: 0 LUCY VINCENT RD

Mailing Address: NASH,LUCY BCH L,MYST PT L& AZALEA
LN LLC
C/O: BERTELETTI, DES. & CO. PC 2400
DISTRICT AVE. STE# 240
BURLINGTON, MA 01803

Parcel Number: 029-004-00
CAMA Number: 029-004-00
Property Address: 0 LUCY VINCENT RD

Mailing Address: NASH & FRIEDBERG & MEYER &
AZALEA LN LLC ;C/O: BDF
C/O: BERTELETTI, DES. & CO. PC 2400
DISTRICT AVE. STE# 240
BURLINGTON, MA 01803

Parcel Number: 029-006-00
CAMA Number: 029-006-00
Property Address: 15 AZALEA LN

Mailing Address: MYST POINT LLC
209 HURON AVE, STE#1
PORT HURON, MI 48060

Parcel Number: 029-007-00
CAMA Number: 029-007-00
Property Address: 11 AZALEA LN

Mailing Address: POWELL WILLIAM M & GAIL E
SCHARGEL
216 EAST 30TH ST
NEW YORK, NY 10016

Parcel Number: 029-008-00
CAMA Number: 029-008-00
Property Address: 9 AZALEA LN

Mailing Address: NASH RONALD E TRUSTEE ;9 AZALEA
LANE NOMINEE TRUST
C/O GELFAND RENNERT & FELDMAN
360 HAMILTON AVE, SUITE 100
WHITE PLAINS, NY 10601

Parcel Number: 029-010-00
CAMA Number: 029-010-00
Property Address: 0 LUCY VINCENT RD

Mailing Address: NASH & FRIEDBERG & MEYER &
AZALEA LN LLC
C/O: BERTELETTI, DES. & CO. PC 2400
DISTRICT AVE. STE# 240
BURLINGTON, MA 01803

Parcel Number: 029-011-00
CAMA Number: 029-011-00
Property Address: 476 SOUTH RD

Mailing Address: VINCENT WILLIAM E B
2039 BALLTOWN RD
SCHNECTADY, NY 12309

Parcel Number: 029-012-00
CAMA Number: 029-012-00
Property Address: 477 SOUTH RD

Mailing Address: GUDE ELIZABETH H & MICHAEL
DREZNER
PO BOX 417
CHILMARK, MA 02535



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



300 foot Abutters List Report

Chilmark, MA
May 10, 2021

Parcel Number: 029-013-00
CAMA Number: 029-013-00
Property Address: 477 SOUTH RD

Mailing Address: GUDE ELIZABETH H & MICHAEL
DREZNER
PO BOX 417
CHILMARK, MA 02535

Parcel Number: 029-016-01
CAMA Number: 029-016-01
Property Address: 18 LUCY VINCENT RD

Mailing Address: ALLEN-POSIN NATHANIEL & KAILA
421 SOUTH RD
CHILMARK, MA 02535

Parcel Number: 029-016-05
CAMA Number: 029-016-05
Property Address: 0 SOUTH RD

Mailing Address: ALLEN CLARISSA & MITCHELL POSIN
TRUSTEES
ALLEN FARM NOMINEE TRUST 421
SOUTH RD
CHILMARK, MA 02535



www.cai-tech.com

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10220

SOURATI ENGINEERING GROUP LLC

107 BEACH RD SUITE 202, PO BOX 4458
VINEYARD HAVEN, MA 02568
PH. (508) 693-9933

MARTHA'S VINEYARD BANK
53-7292/2113

5-13-21

PAY TO THE ORDER OF *Town of Chilmark*

\$ 122.50

One hundred twenty-two and 50/100 DOLLARS

MEMO *102430 Leff
NO1 local filing fee*



George Souate
AUTHORIZED SIGNATURE

⑈010220⑈ ⑆211372925⑆ 45 234572⑈

Security features. Details on back.

10219

SOURATI ENGINEERING GROUP LLC

107 BEACH RD SUITE 202, PO BOX 4458
VINEYARD HAVEN, MA 02568
PH. (508) 693-9933

MARTHA'S VINEYARD BANK
53-7292/2113

5-13-21

PAY TO THE ORDER OF *Commonwealth of Massachusetts*

\$ 97.50

Ninety-seven and 50/100 DOLLARS

MEMO *102430 Leff
NO1 state filing fee*



George Souate
AUTHORIZED SIGNATURE

⑈010219⑈ ⑆211372925⑆ 45 234572⑈

Security features. Details on back.

Landscape Construction Documents

for the

LEFF/KNIGHT RESIDENCE

One Azalea Lane
 Town of Chilmark, Massachusetts
 Map 29, Parcel 5

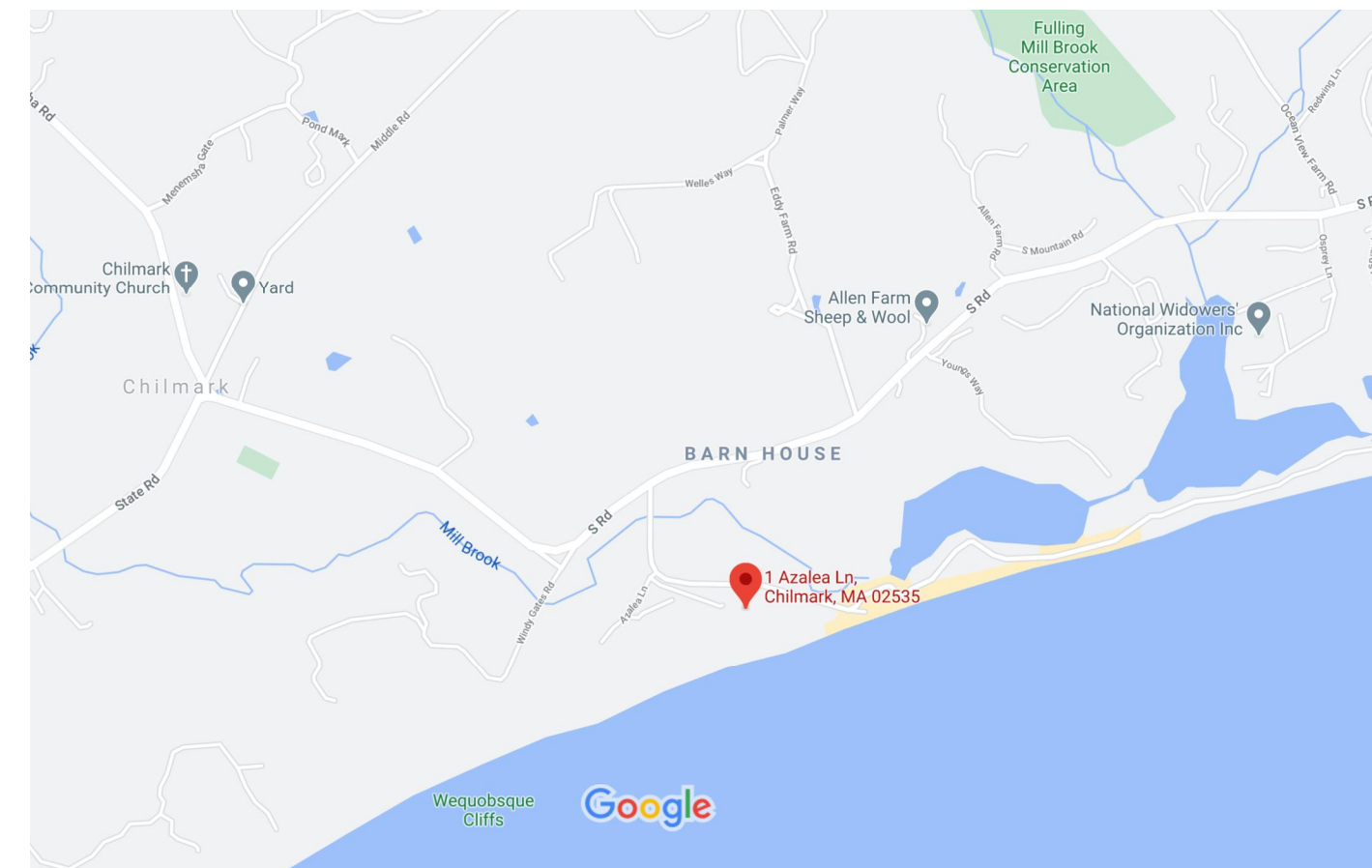
April 16, 2021

**Pouder
 Design
 Group**

NEW MILFORD, CT
 914.450.0385
POUDER.COM

Location Map

Not to Scale



Legend

- SITE BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TREE PROTECTION FENCE
- FENCE
- WETLAND BOUNDARY
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING TREE
- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED WALKWAY
- PROPOSED GROUNDCOVER
- PROPOSED GRAVEL
- PROPOSED TURF

List of Drawings

- L-1 Specifications
- L-2 Grading, Drainage & Layout Plan
- L-3 Planting Plan
- L-4 Details
- L-5 Details

Base map source:
 Digital survey entitled
 "Drawing Number 102430ws"
 by Sourati Engineering Group
 LLC, dated 3/3/2021

Date	Issue
4-20-21	Owner review
4-23-21	Permitting & Approvals

© Pouder Design Group

approximate lot area
 6.9± acres

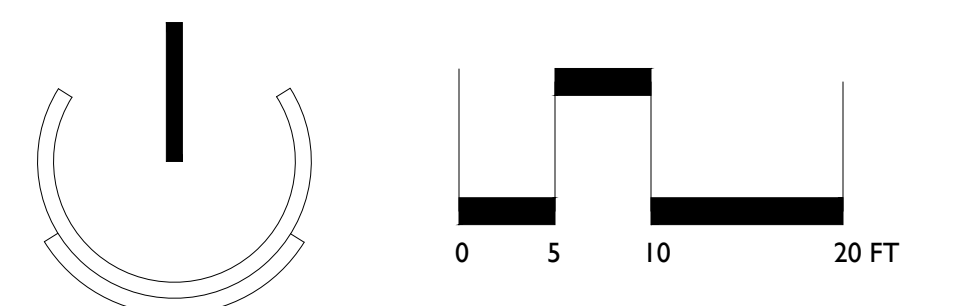
L-2 Grading & Layout Plan Leff-Knight Residence

1 Azalea Lane
Chilmark, Mass
16 APRIL 21

Pouder Design Group
NEW MILFORD, CT
914.450.0385
POUDER.COM



Date	Issue
4-20-21	Owner review
4-23-21	Permitting & Approvals

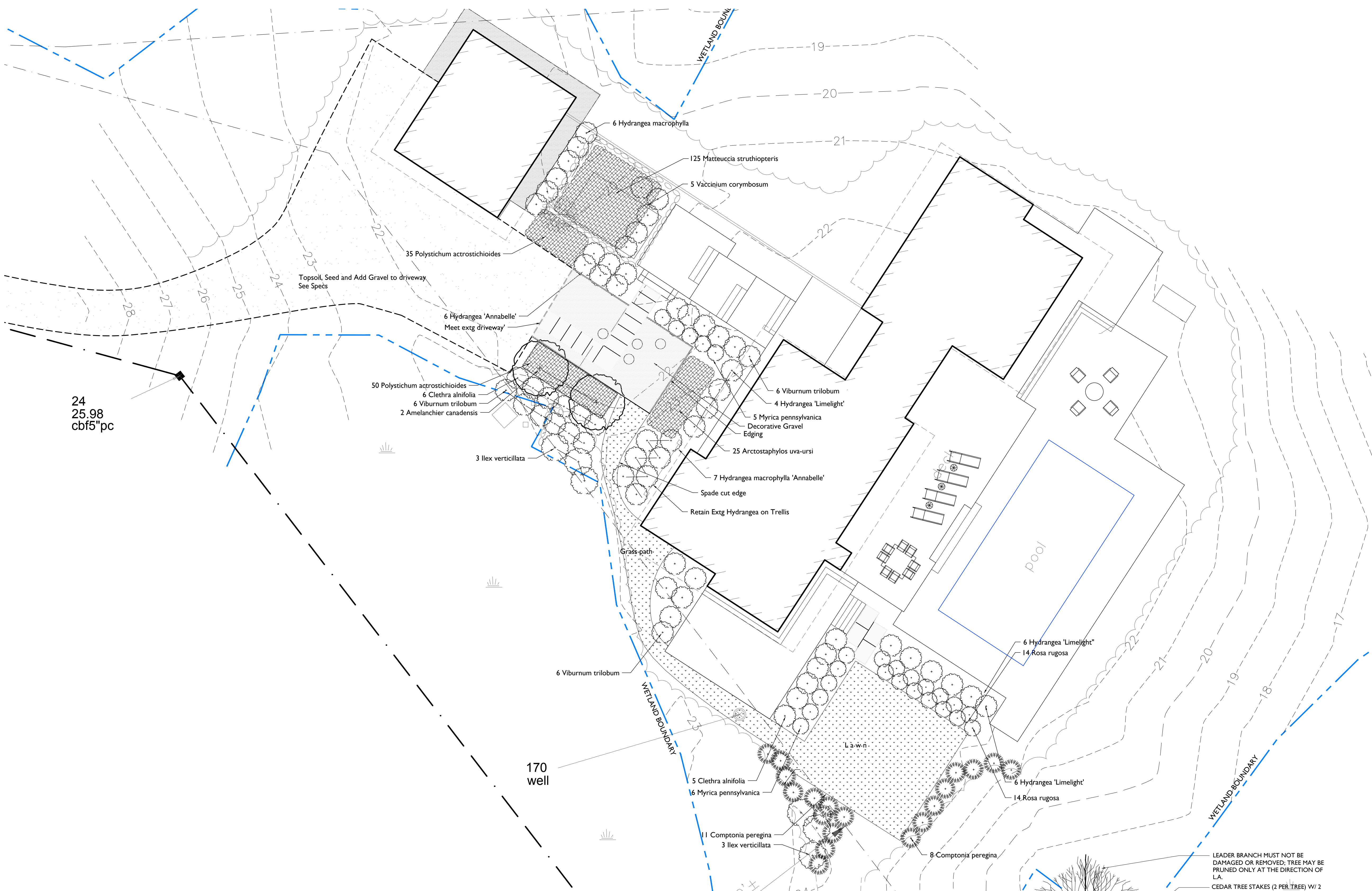


© Pouder Design Group

L-3 Planting Plan Leff-Knight Residence

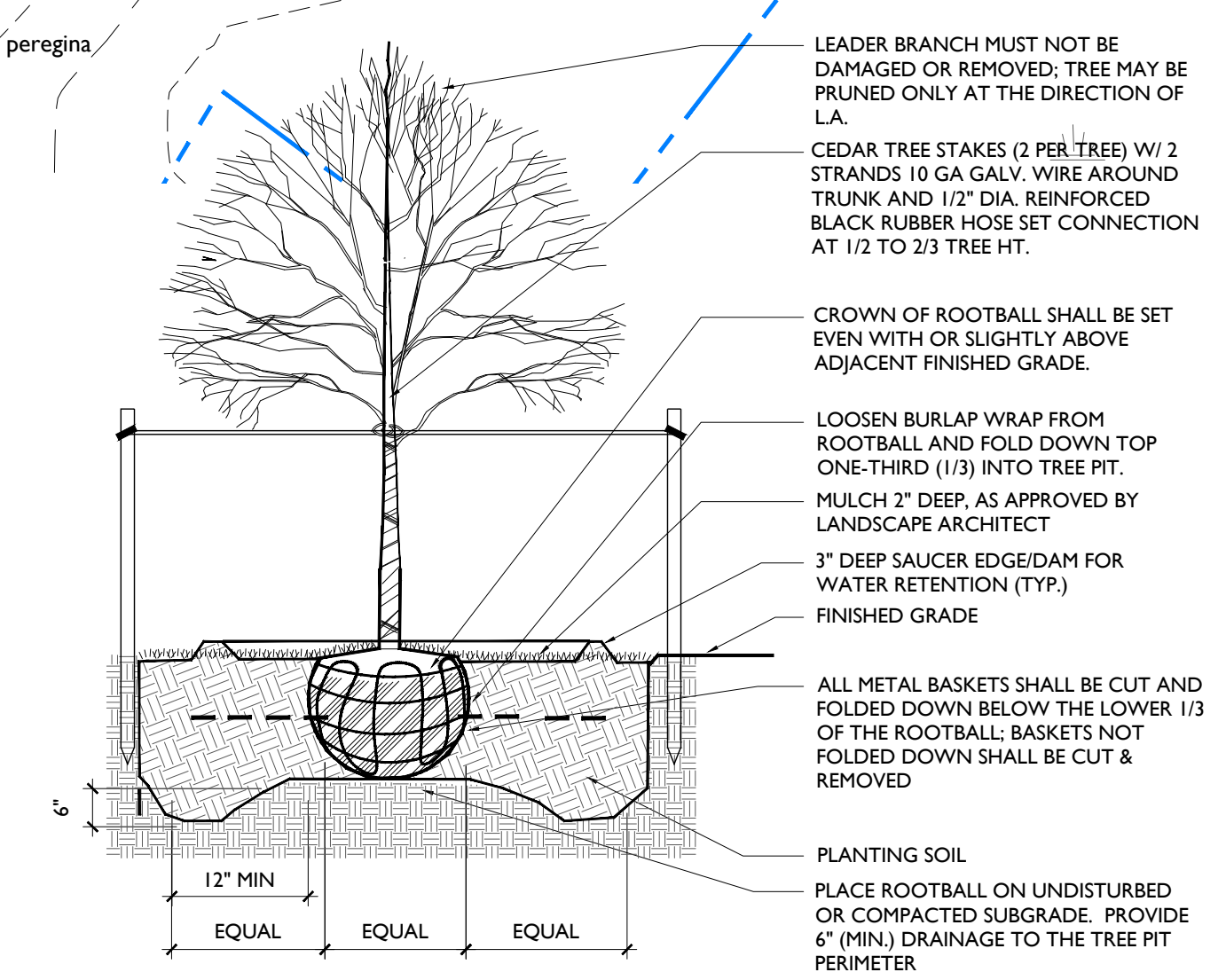
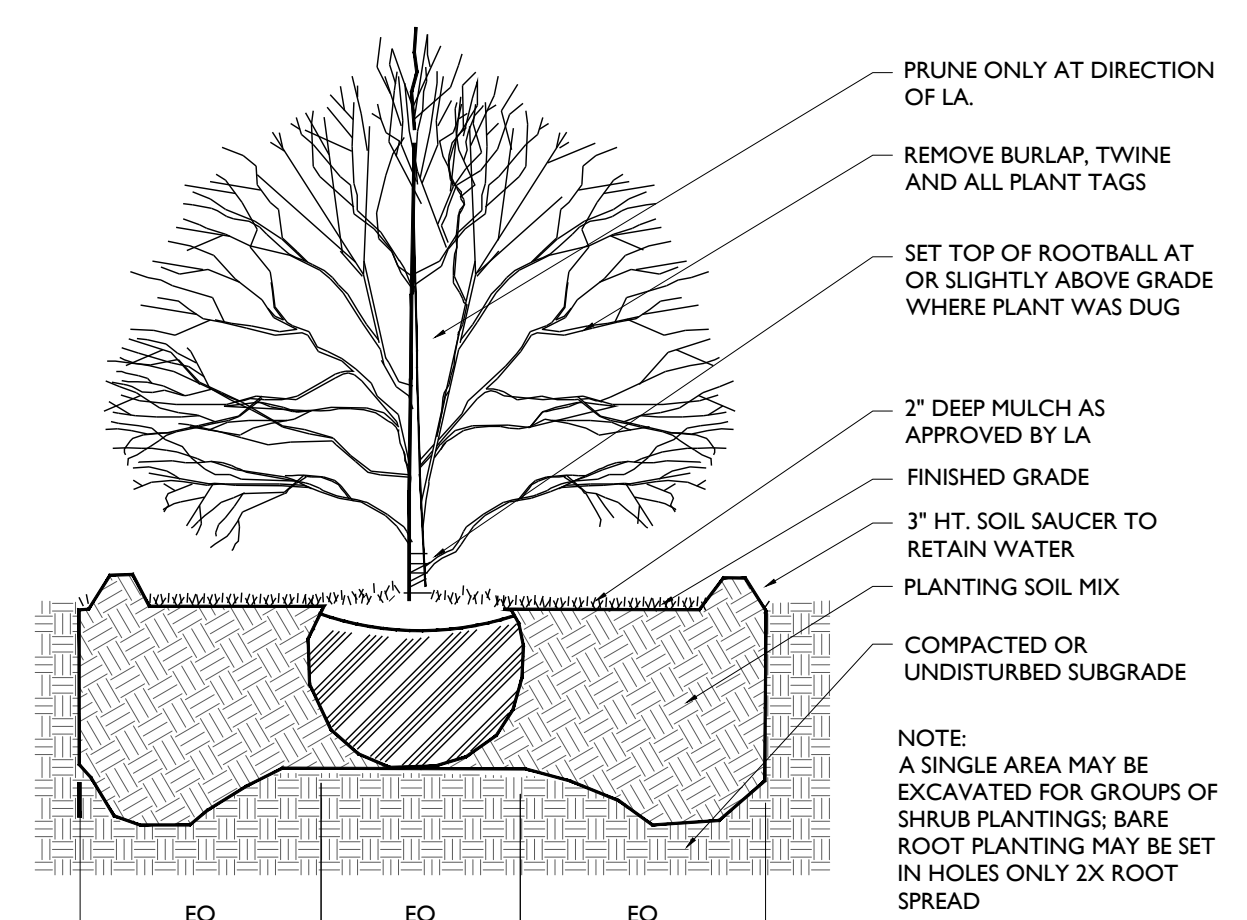
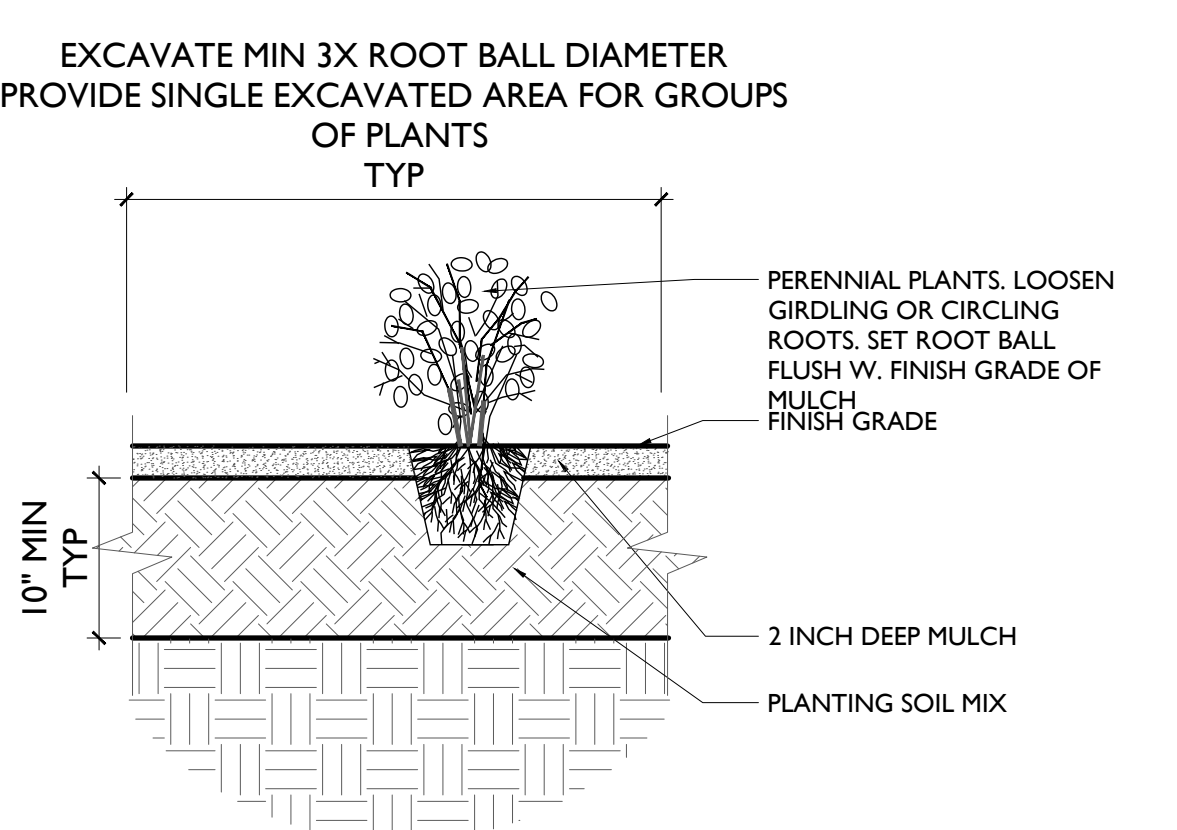
1 Azalea Lane
Chilmark, Mass
16 APRIL 21

Pouder Design Group
NEW MILFORD, CT
914.450.0385
POUDER.COM

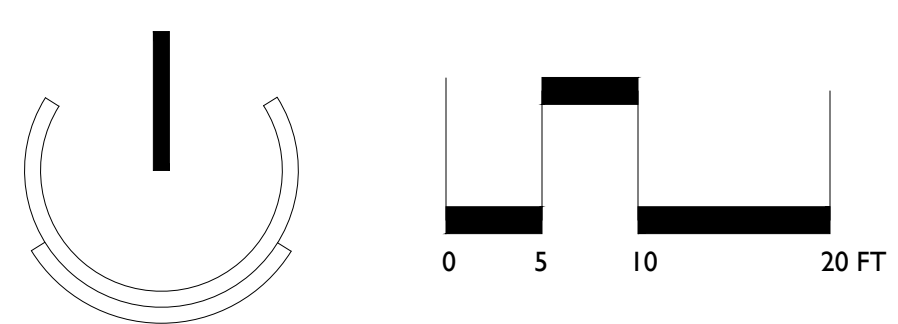


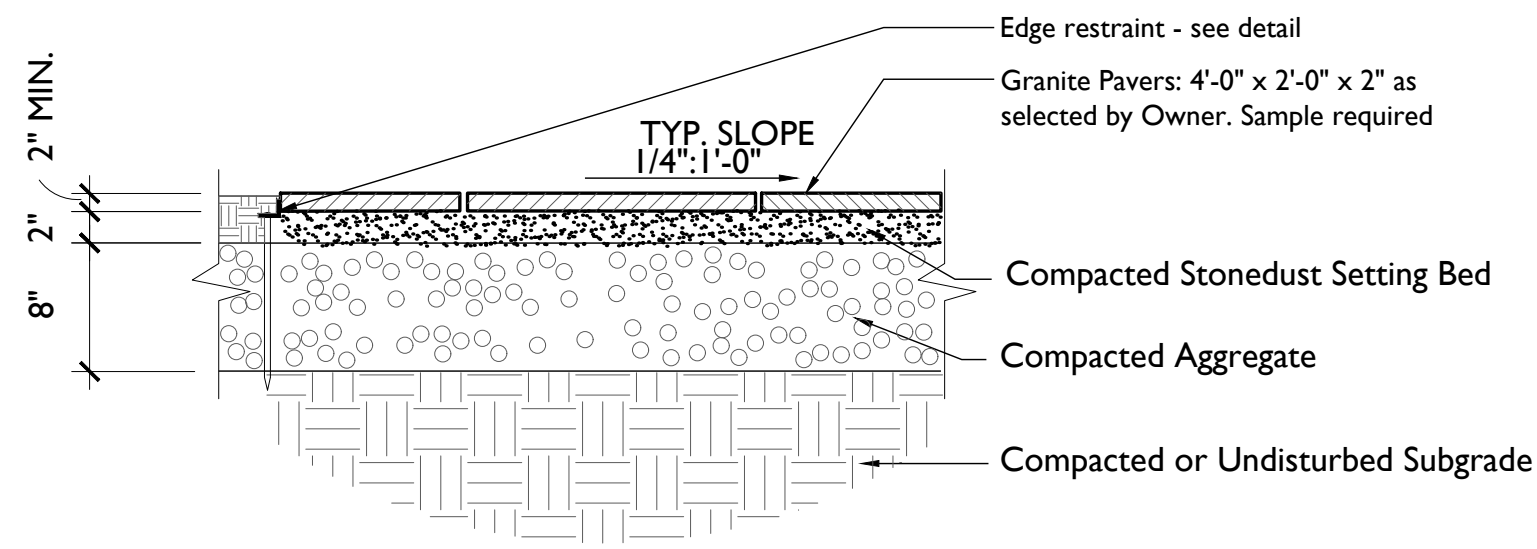
Plant Schedule

Quantity	Botanical Name	Common Name	Category	Size	Remarks
100	Alchemilla mollis	Lady's Mantle	Perennial	N/A	Transplant existing - locations TBD in field w LA
2	Amelanchier canadensis	Shadblow	Tree	10-12 ft	Multi-stem B&B
25	Arctostaphylos uva-ursi 'Massachusetts'	bearberry	Shrub	1 gal	
11	Clethra alnifolia 'Ruby Spice'	Pink Compact Clethra	Shrub	24-30"	
19	Comptonia peregrina	Sweet Fern	Shrub	3 gal	
16	Hydrangea 'Limelight'	Hydrangea-PG	Shrub	5 gal	
23	Hydrangea m. 'Annabelle'	Hydrangea	Shrub	5 gal	
9	Ilex verticillata	Winterberry	Shrub	3-4 ft	
125	Matteuccia struthiopteris	Ostrich Fern	Perennial	1 gal	
11	Myrica pennsylvanica	Bayberry	Shrub	24-30"	
85	Polystichum acrostichoides	Christmas Fern	Perennial	1 gal	
28	Rosa rugosa	Rugosa Rose	Shrub	3 gal	
5	Vaccinium corymbosum	Highbush Blueberry	Shrub	3-4ft	
18	Viburnum trilobum	Viburnum	Shrub	3-4 ft	

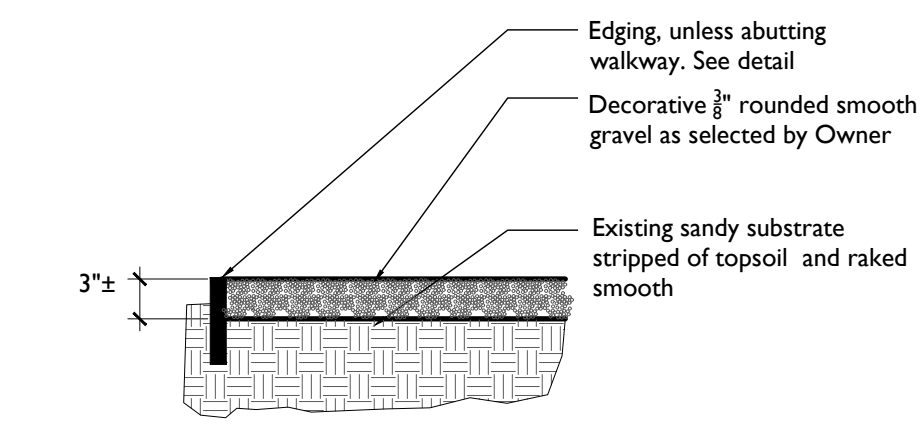


Date	Issue
4-20-21	Owner review
4-23-21	Permitting & Approvals

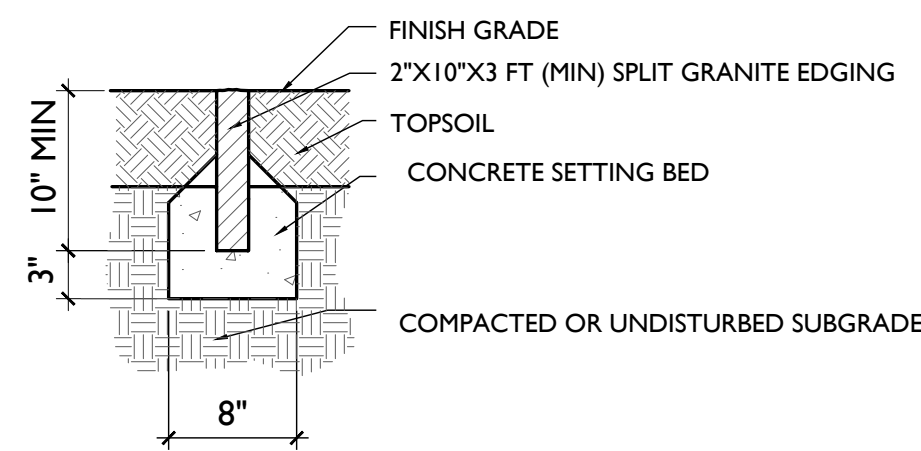




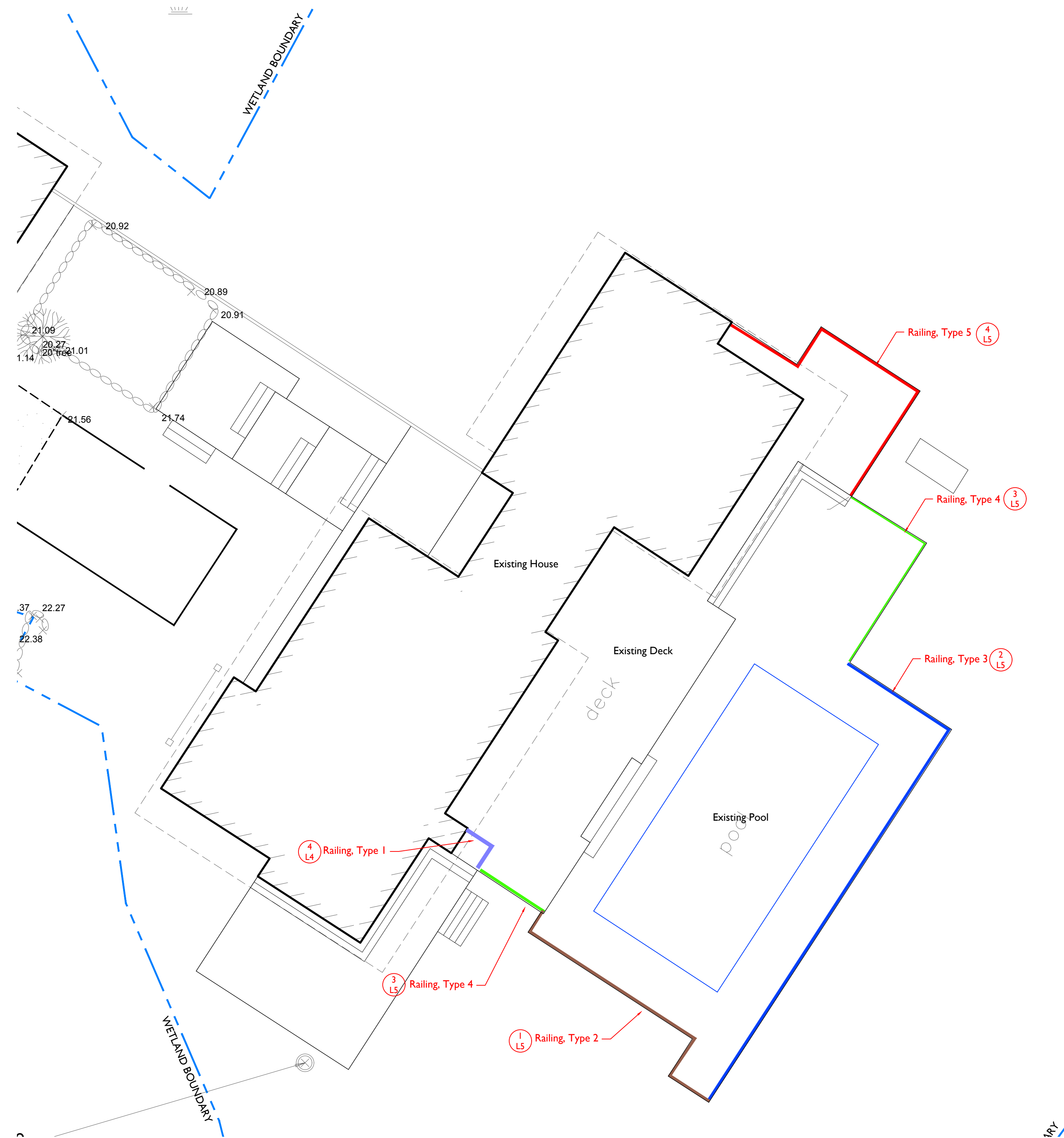
1 Granite Walkway on Stonedust
 Scale: 3/4"=1'-0"



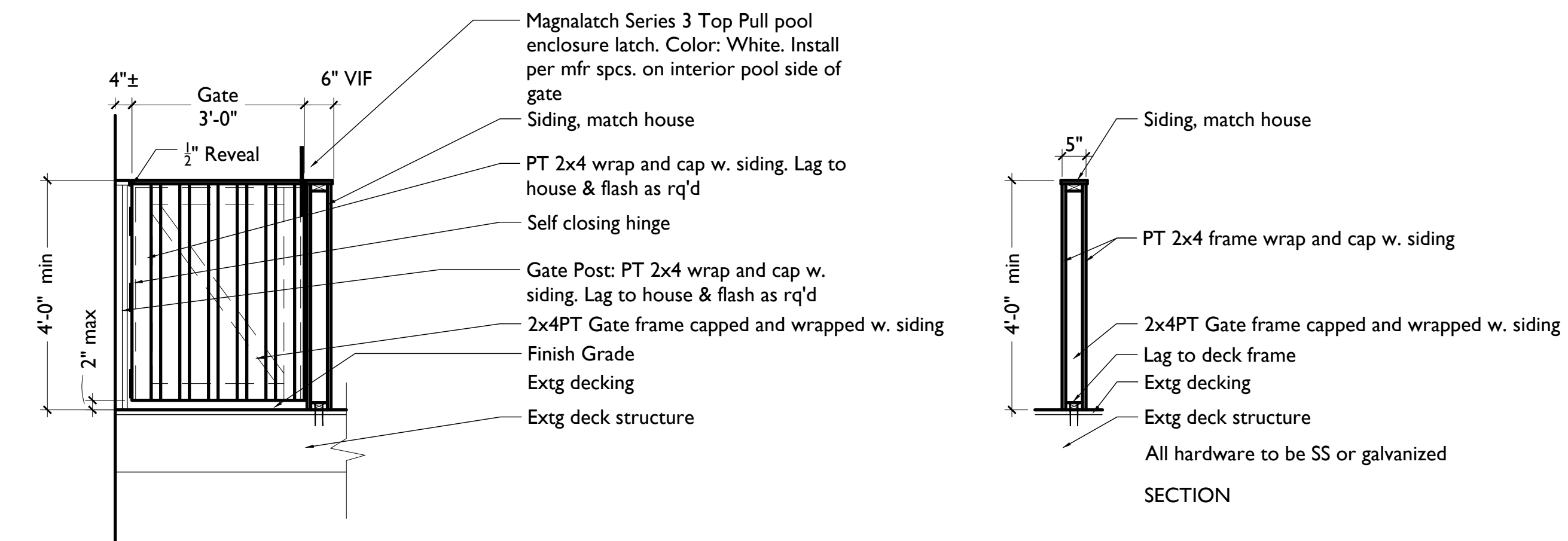
2 Gravel Bed
 SCALE: 1/2"=1'-0"



3 Granite Edging
 SCALE: 1"=1'-0"



Fence Key Plan



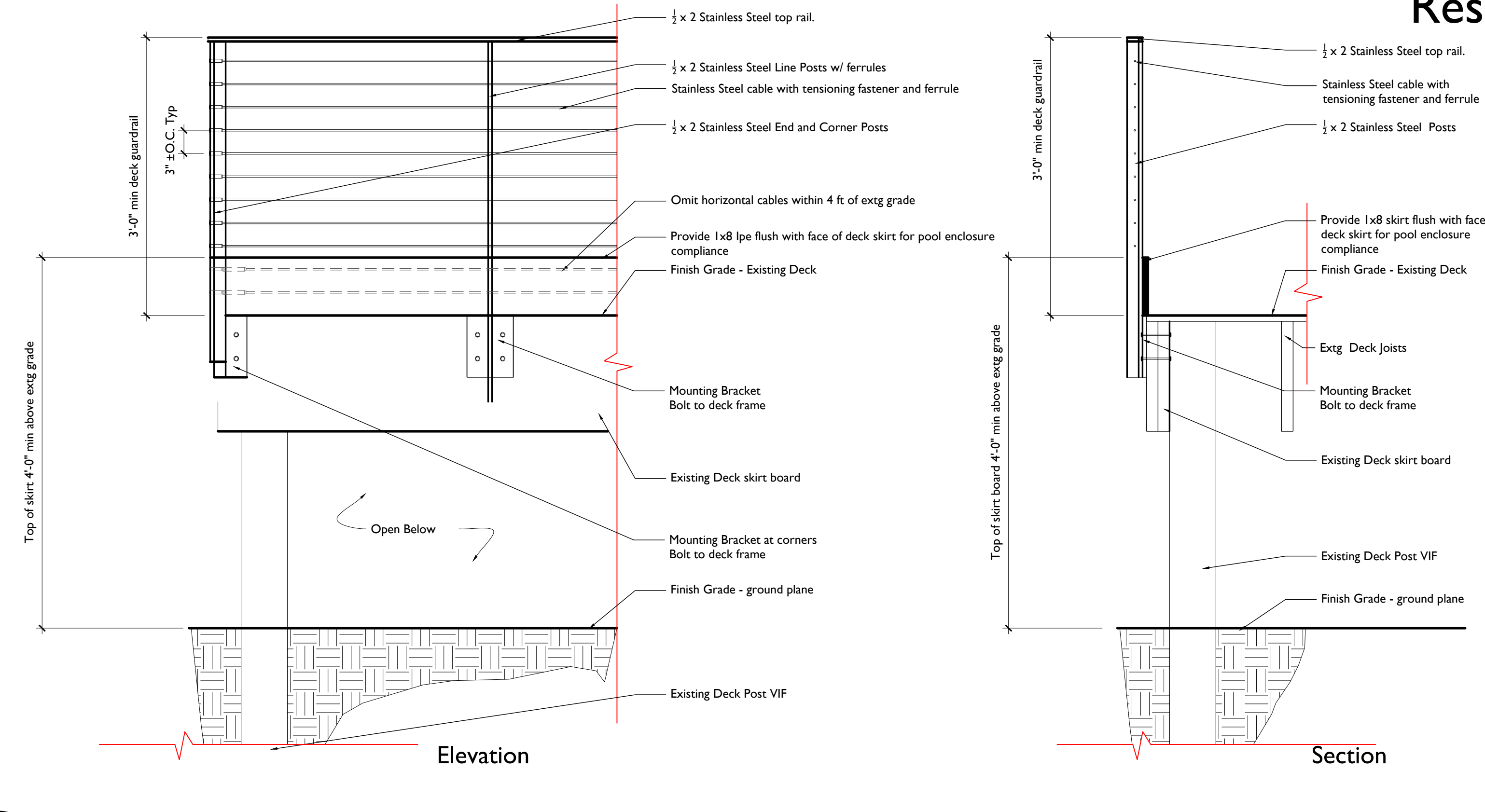
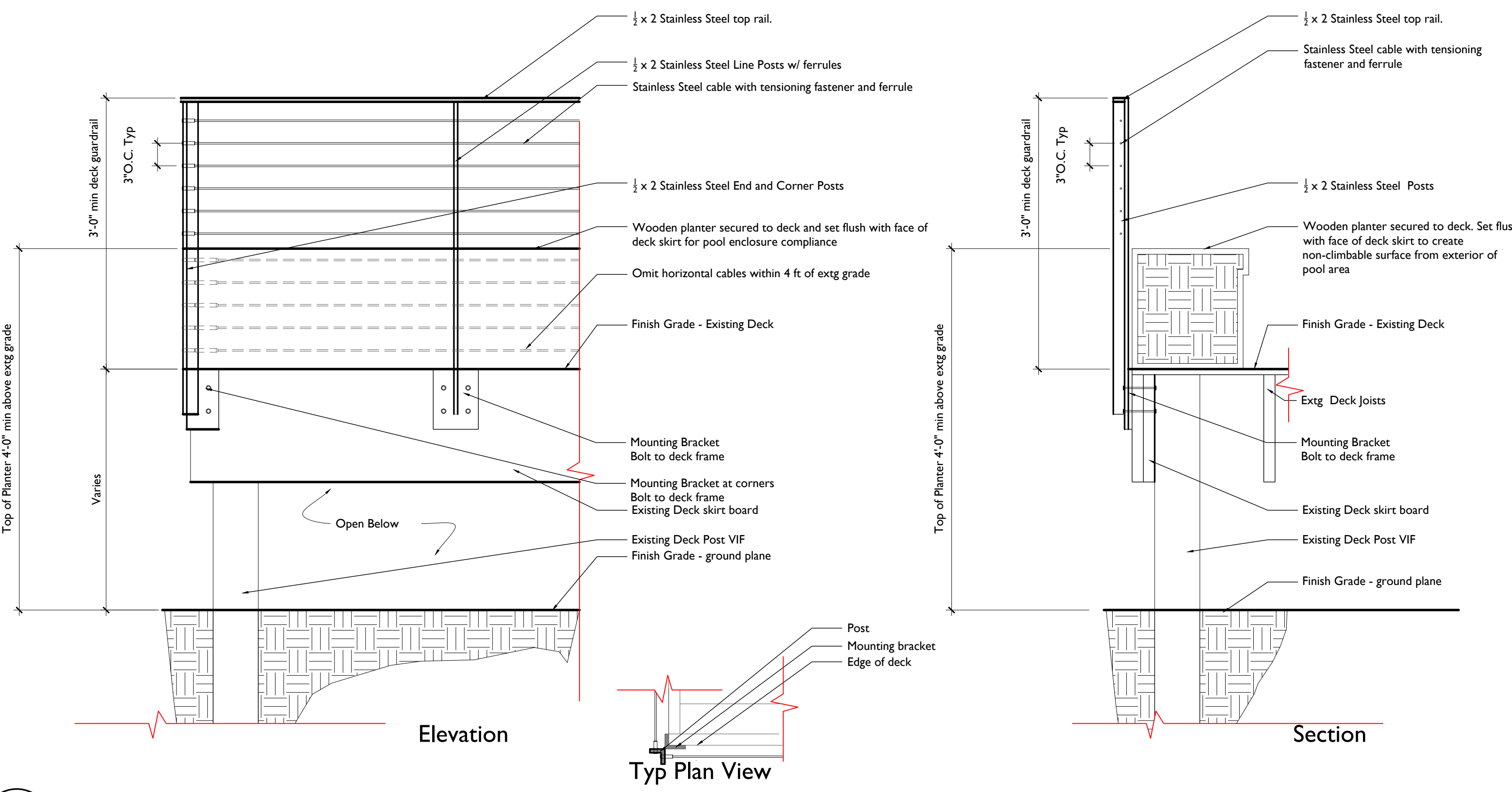
4 Pool Enclosure & Deck Guardrail, Type 1
 Scale: 1/2"=1'-0"

Date	Issue
4-20-21	Owner review
4-23-21	Permitting & Approvals

L-5 Details Leff-Knight Residence

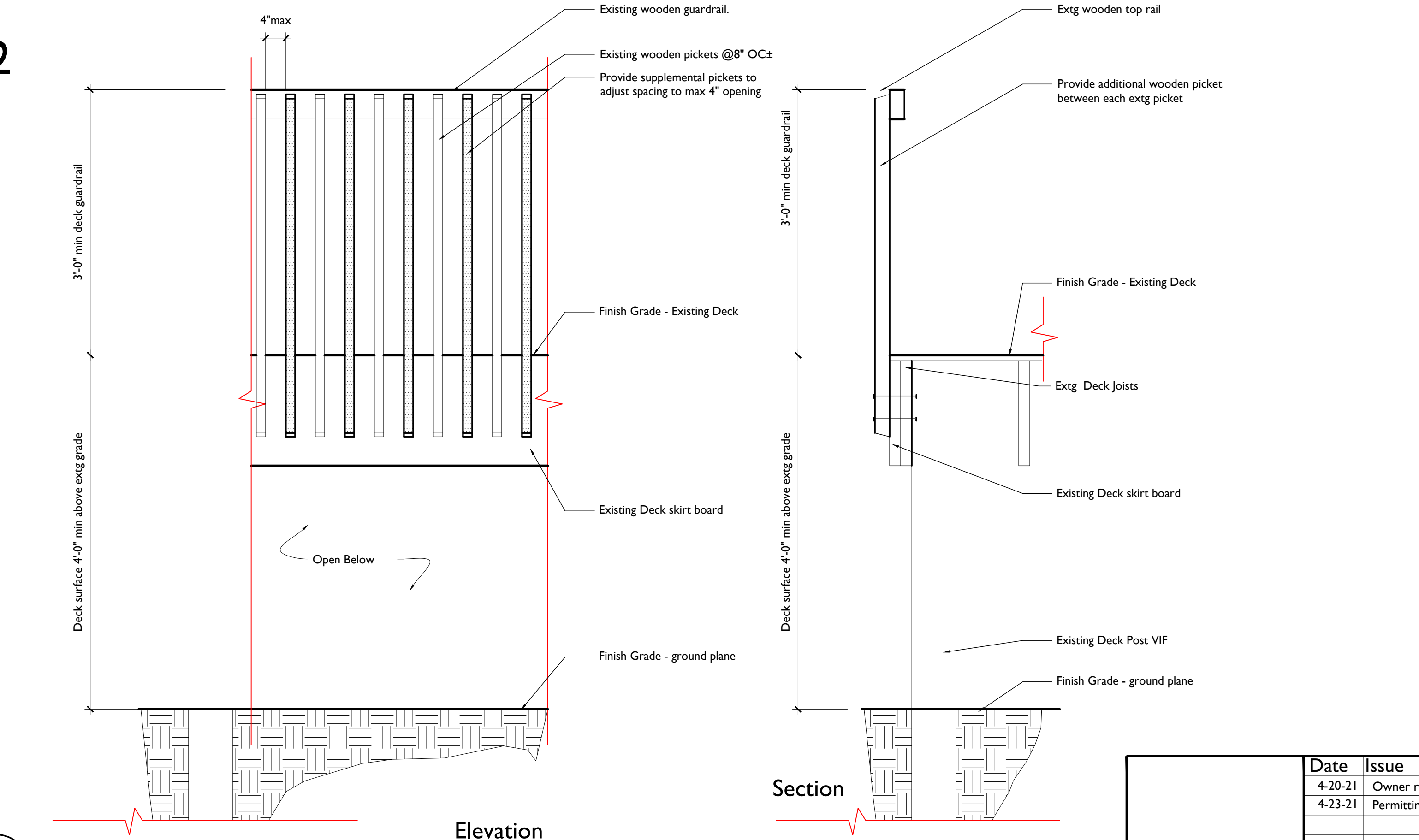
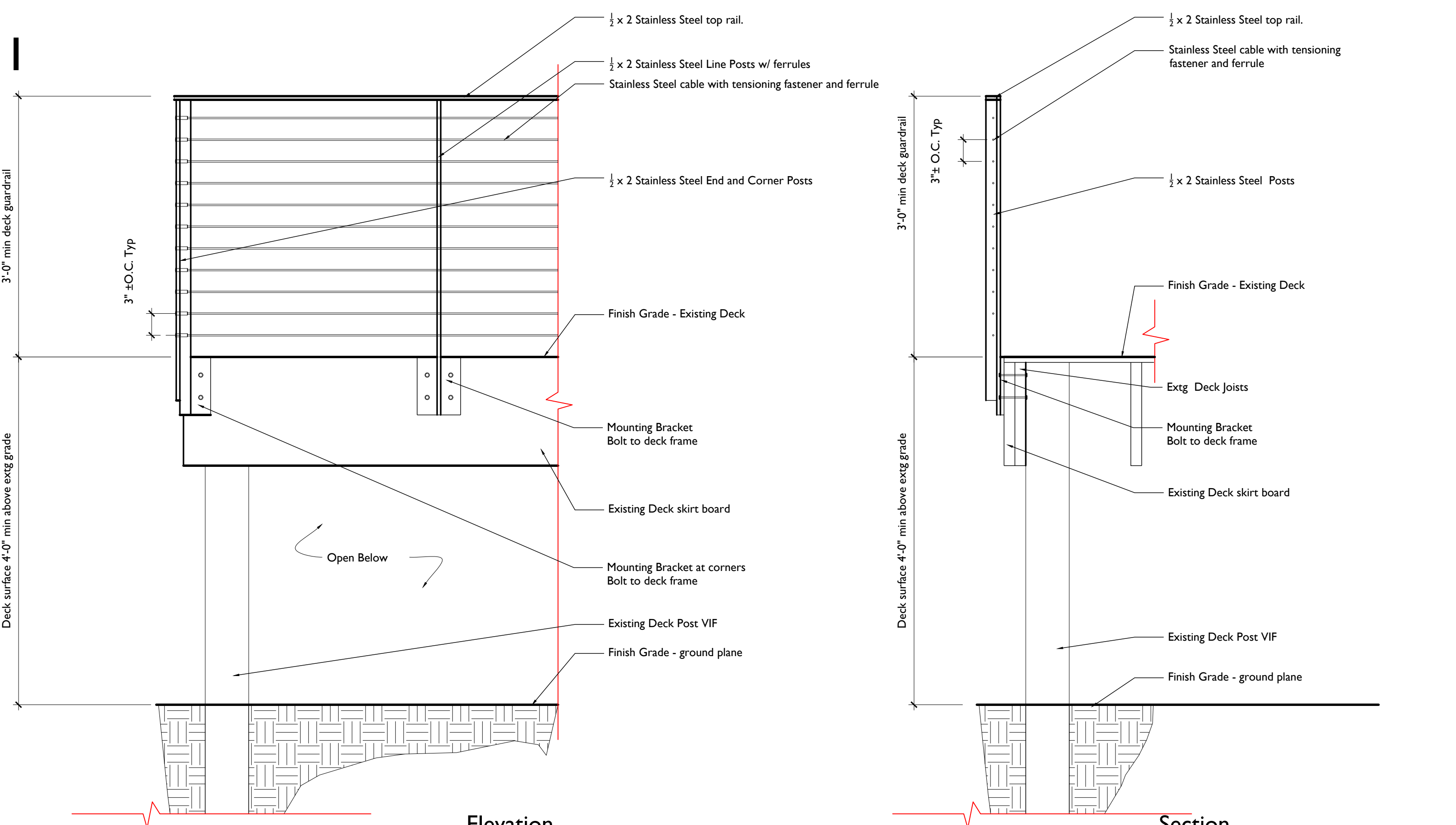
1 Azalea Lane
Chilmark, Mass
16 APRIL 21

Pouder Design Group
NEW MILFORD, CT
914.450.0385
POUDER.COM



Pool Enclosure & Deck guardrail, Type 2
Deck approx 30-36" above extg grade
Not to Scale

Pool Enclosure & Deck Guardrail, Type 3
Deck slightly less than 48" above extg grade
Not to Scale

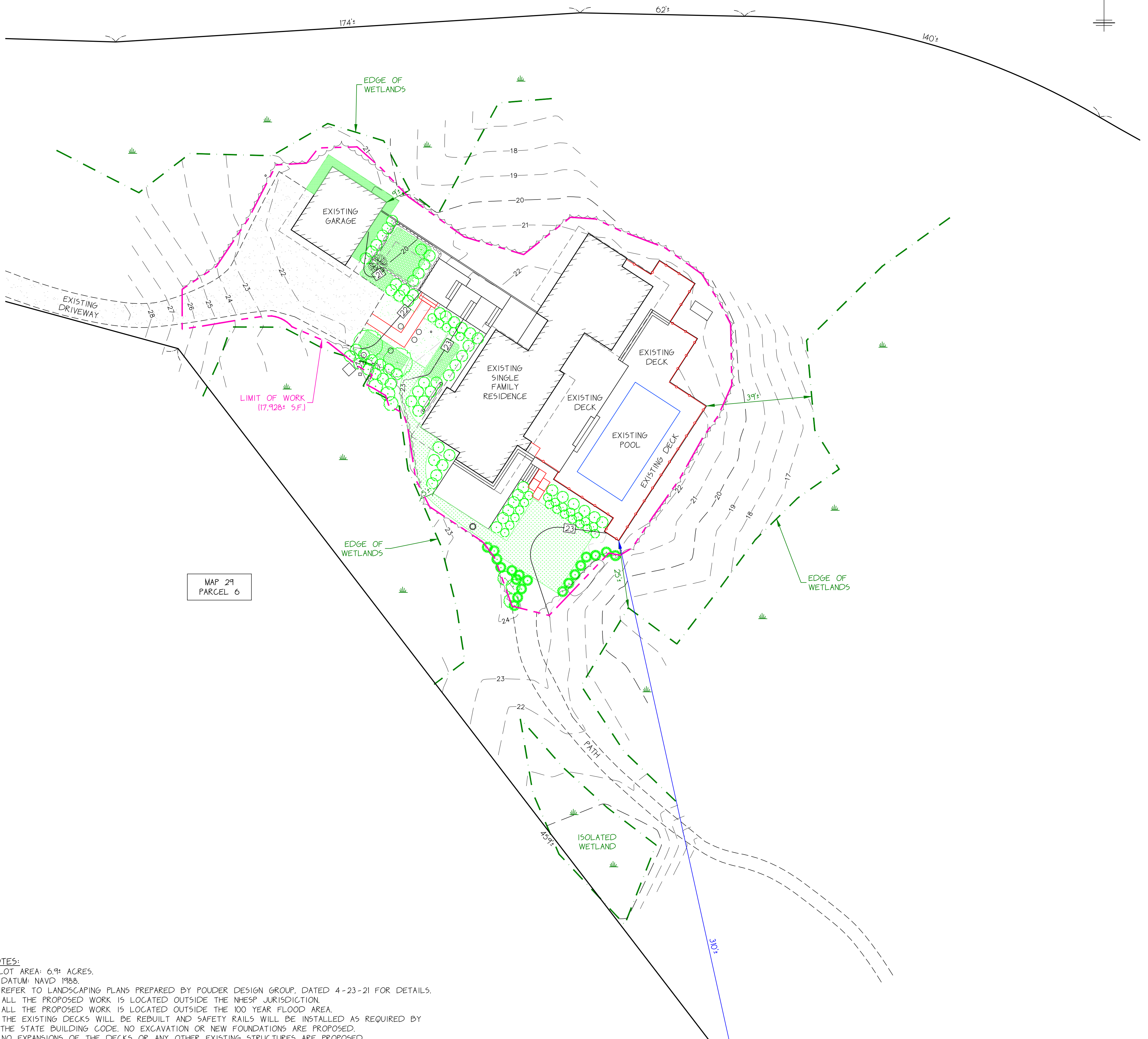


Pool Enclosure & Deck Guardrail, Type 4
Deck 48" or more above extg grade
Not to Scale

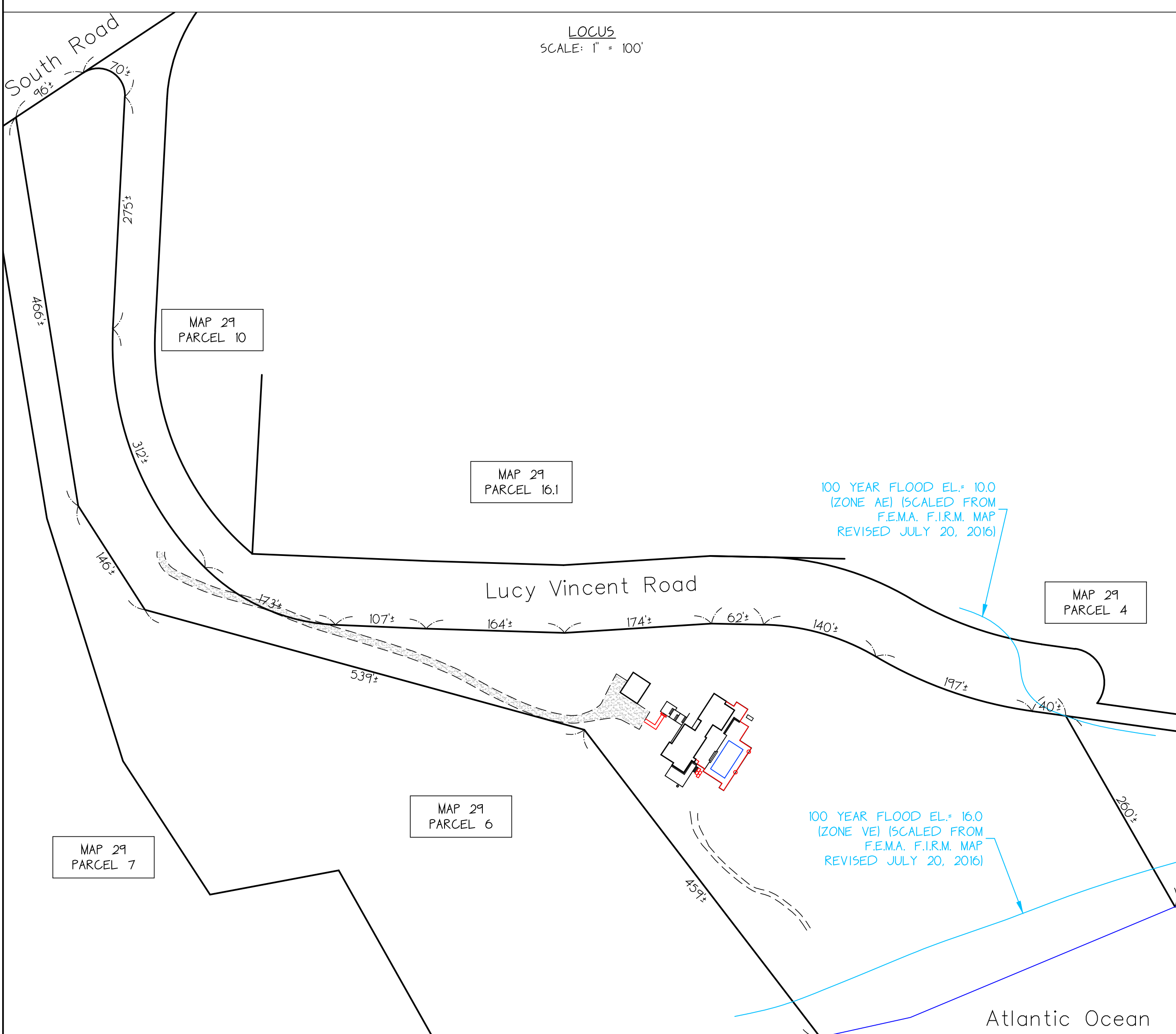
Pool Enclosure & Deck Guardrail, Type 5
Deck 48" or more above extg grade with existing wooden guardrail
Not to Scale

Date	Issue
4-20-21	Owner review
4-23-21	Permitting & Approvals

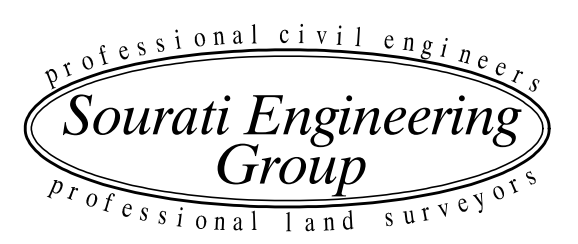
Lucy Vincent Road



- NOTES:
1. LOT AREA: 6.9± ACRES.
 2. DATUM: NAVD 1988.
 3. REFER TO LANDSCAPING PLANS PREPARED BY POWDER DESIGN GROUP, DATED 4-23-21 FOR DETAILS.
 4. ALL THE PROPOSED WORK IS LOCATED OUTSIDE THE NHESP JURISDICTION.
 5. ALL THE PROPOSED WORK IS LOCATED OUTSIDE THE 100 YEAR FLOOD AREA.
 6. THE EXISTING DECKS WILL BE REBUILT AND SAFETY RAILS WILL BE INSTALLED AS REQUIRED BY THE STATE BUILDING CODE. NO EXCAVATION OR NEW FOUNDATIONS ARE PROPOSED.
 7. NO EXPANSIONS OF THE DECKS OR ANY OTHER EXISTING STRUCTURES ARE PROPOSED.



Site Plan
 in
 Chilmark, Massachusetts
 Assessor Parcel 29-5
 prepared for
 Adam Leff
 Scale 1"=20' May 13, 2021



P.O. Box 4458
 107 Beach Road, Suite 202
 Vineyard Haven, MA 02568
 Phone (508) 693-9933 Fax (508) 693-4933