

www.souratigroup.com

Martha's Vineyard Office

107 Beach Rd., Suite 202 P.O. Box 4458, Vineyard Haven, MA 02568 Phone: 508-693-9933, Fax: 508-693-4933

Nantucket Office:

35 Old South Road, Nantucket, MA 02554 Phone: 508-228-7888, Fax: 508-228-5511

May 13, 2021

Chilmark Conservation Commission P.O. Box 119 Chilmark, MA 02535

RE:

Adam B. Leff Map 29, Parcel 5 1 Azalea Lane, Chilmark, MA Restoring Pool and Landscaping

Dear Commission Members:

Please find enclosed an original and a copy of a Notice of Intent and its supporting documents for proposed work at the above referenced property. Enclosed is a check for \$67.50 for the town filing fee.

Supporting documents enclosed:

- USGS map
- NHESP map
- Copy of WPA Appendix A Wetland Fee Transmittal Form
- Copy of filing fee checks to the Commonwealth of Massachusetts and the Town of Chilmark
- Notice to Abutters, Abutters List, Assessor's Map and Affidavit of Service
- Landscape Construction Documents prepared for the Leff/Knight Residence in Chilmark, MA by Pouder Design Group dated April 23, 2021.
- Site Plan in Chilmark, MA prepared for Adam Leff by Sourati Engineering Group, LLC dated May 13, 2021.

Please feel free to contact me directly if you have any questions.

Sincerely,

George A. Sourati, P.E.

loge to mati

Cc: DEP-Wetlands Section-Southeast Regional Office

SEG 102430



Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return



key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

Massachusetts Department of Environmental Protection Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40 and the Chilmark Wetlands Protection Bylaws

Provided by MassDEP: MassDEP File Number **Document Transaction Number** Chilmark City/Town

A. General Information

| 1 Amosta Lan- | | Chilmanul | 00525 | | | |
|------------------------------------|--|------------------------|--------------------|--|--|--|
| 1 Azaela Lane a. Street Address | | Chilmark b. City/Town | | | | |
| a. Sileei Addiess | | 41.339480 | -70.732690 | | | |
| Latitude and Lon | gitude: | d. Latitude | e. Longitude | | | |
| 29 | | 5 | o. Longitudo | | | |
| f. Assessors Map/Pla | t Number | g. Parcel /Lot Number | | | | |
| 2. Applicant: | | _ | | | | |
| Adam B. | i i | Leff | | | | |
| a. First Name | | b. Last Name | | | | |
| | ein, LUSEO Group, | D. Edet Hamb | | | | |
| c. Organization | em, Loolo Group, | | | | | |
| 7875 SW 104th S | Street Suite 203 | | | | | |
| d. Street Address | | | | | | |
| Miami | | FL | 33156 | | | |
| e. City/Town | | f. State | g. Zip Code | | | |
| | | | | | | |
| h. Phone Number | i. Fax Number | j. Email Address | | | | |
| a. First Name | required if different from ap | b. Last Name | ore than one owner | | | |
| c. Organization | c. Organization | | | | | |
| d. Street Address | | | - | | | |
| e. City/Town | | f. State | g. Zip Code | | | |
| h. Phone Number | i. Fax Number | j. Email address | | | | |
| l. Representative (i | Representative (if any): | | | | | |
| George A. | | Sourati | | | | |
| a. First Name | | b. Last Name | | | | |
| Sourati Engineeri | Sourati Engineering Group, LLC | | | | | |
| c. Company | | | | | | |
| 107 Beach Road, | 107 Beach Road, Suite 202; PO Box 4458 | | | | | |
| d. Street Address | | | | | | |
| Vineyard Haven | | MA | 02568 | | | |
| e. City/Town | | f. State | g. Zip Code | | | |
| (508) 693-9933 | (508) 693-4933 | gsourati@souratigroup. | com | | | |
| h. Phone Number | i. Fax Number | j. Email address | | | | |
| | | | | | | |
| . Total WPA Fee P | aid (from NOI Wetland Fee | e Transmittal Form): | | | | |

b. State Fee Paid

a. Total Fee Paid

c. City/Town Fee Paid



WPA Form 3 – Notice of IntentMassachusetts Wetlands Protection Act M.G.L. c. 131, §40

| vided by MassDEP: |
|-----------------------------|
| MassDEP File Number |
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| Chilmark |
| City/Town |

| A. | A. General Information (continued) | | | | | | |
|------------------------|---|------|---------------------------------------|----------------------------------|--|--|--|
| 6. | General Project Description: The project consists of restoring the pool and pool deck area to comply with Massachusetts State Building Codes and relandscaping. No increase in decks or other structures are proposed. | | | | | | |
| | Dunding Godes and relandscaping. No increase in | ucc | (3 0 | Totaler structures are proposed. | | | |
| 7a. | Project Type Checklist: (Limited Project Types see Section A. 7b.) | | | | | | |
| | 1. Single Family Home | 2. | | Residential Subdivision | | | |
| | 3. Commercial/Industrial | 4. | | Dock/Pier | | | |
| | 5. Utilities | 6. | | Coastal engineering Structure | | | |
| | 7. Agriculture (e.g., cranberries, forestry) | 8. | | Transportation | | | |
| | 9. 🛛 Other | | | | | | |
| 7b. | Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)? 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types) | | | | | | |
| | 2. Limited Project Type | | | | | | |
| | If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification. | | | | | | |
| 8. | Property recorded at the Registry of Deeds for: | | | | | | |
| | Dukes a. County | | b. Certificate # (if registered land) | | | | |
| | 1552 | | 957 | | | | |
| c. Book d. Page Number | | | | | | | |
| В. | Buffer Zone & Resource Area Impa | acts | 5 (t | emporary & permanent) | | | |
| 1. | Buffer Zone Only – Check if the project is located Vegetated Wetland, Inland Bank, or Coastal Re | sour | ce A | Area. | | | |
| 2. | ☑ Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas). | | | | | | |
| | Check all that apply below. Attach narrative and any supporting documentation describing how the | | | | | | |

project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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| MassDEP File Number |
|-----------------------------|
| Document Transaction Number |
| Document Hansaction Number |
| Chilmark |

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

| Resource Area | | Size of Proposed Alteration | Proposed Replacement (if any) | | | |
|---|--|---|--|--|--|--|
| a. 🗌 | Bank | 1. linear feet | 2. linear feet | | | |
| b. 🔀 | Bordering Vegetated Wetland | 15 1. square feet | 2. square feet | | | |
| с. 🗌 | Land Under Waterbodies and | 1. square feet | 2. square feet | | | |
| | Waterways | 3. cubic yards dredged | | | | |
| Resour | ce Area | Size of Proposed Alteration | Proposed Replacement (if any) | | | |
| d. 🗌 | Bordering Land Subject to Flooding | 1. square feet | 2. square feet | | | |
| _ | | 3. cubic feet of flood storage lost | 4. cubic feet replaced | | | |
| e | Isolated Land Subject to Flooding | 1. square feet | | | | |
| | | 2. cubic feet of flood storage lost | 3. cubic feet replaced | | | |
| f. Riverfront Area | | Name of Waterway (if available) - specify coastal or inland | | | | |
| 2. Width of Riverfront Area (check one): | | | | | | |
| | 25 ft Designated Densely Developed Areas only | | | | | |
| | ☐ 100 ft New agricultu | ıral projects only | | | | |
| | 200 ft All other proje | ects | | | | |
| 3. | Гotal area of Riverfront Are | a on the site of the proposed projec | t: square feet | | | |
| 4 F | Proposed alteration of the F | Riverfront Area | Square reet | | | |
| | repeated distribution of the f | avormone, a od. | | | | |
| a. to | otal square feet | b. square feet within 100 ft. | c. square feet between 100 ft. and 200 ft. | | | |
| 5. H | Has an alternatives analysis | s been done and is it attached to this | s NOI? Yes No | | | |
| 6. V | 6. Was the lot where the activity is proposed created prior to August 1, 1996? | | | | | |
| ☐ Coastal Resource Areas: (See 310 CMR 10.25-10.35) | | | | | | |
| Note: for coastal riverfront areas, please complete Section B.2.f. above. | | | | | | |

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

3.



WPA Form 3 – Notice of Intent

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| Pro | vided by MassDEP: |
|-----|-----------------------------|
| | MassDEP File Number |
| | Document Transaction Number |
| | Chilmark |
| | City/Town |

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

| Online Users: |
|-------------------|
| Include your |
| document |
| transaction |
| number |
| (provided on your |
| receipt page) |
| with all |
| supplementary |
| information you |
| submit to the |
| Department. |
| |

| Resource Area | | Size of Proposed Altera | tion Proposed Replacement (if any) | | |
|--|--------------------------------|--------------------------|---|--|--|
| а. 🗌 | Designated Port Areas | Indicate size under Lar | nd Under the Ocean, below | | |
| b. 🗌 | Land Under the Ocean | 1. square feet | | | |
| | | 2. cubic yards dredged | | | |
| с. 🗌 | Barrier Beach | Indicate size under Coas | stal Beaches and/or Coastal Dunes below | | |
| d. 🗌 | Coastal Beaches | 1. square feet | 2. cubic yards beach nourishment | | |
| е. 🗌 | Coastal Dunes | 1. square feet | 2. cubic yards dune nourishment | | |
| | | Size of Proposed Alterat | ion Proposed Replacement (if any) | | |
| f g | Coastal Banks Rocky Intertidal | 1. linear feet | | | |
| _ | Shores | 1. square feet | | | |
| h. 🗌 | Salt Marshes | 1. square feet | 2. sq ft restoration, rehab., creation | | |
| i | Land Under Salt Ponds | 1. square feet | | | |
| | | 2. cubic yards dredged | | | |
| j. 🗌 | Land Containing Shellfish | 1. square feet | | | |
| k. 🗌 | Fish Runs | | stal Banks, inland Bank, Land Under the nd Under Waterbodies and Waterways, | | |
| | | 1. cubic yards dredged | | | |
| I. 🔲 | Land Subject to | 1. square feet | | | |
| Coastal Storm Flowage 1. square feet Restoration/Enhancement If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here. | | | | | |
| a. squar | e feet of BVW | b. squar | e feet of Salt Marsh | | |
| ☐ Pro | oject Involves Stream Cross | sings | | | |
| a. numb | er of new stream crossings | b. numb | b. number of replacement stream crossings | | |

4.

5.



WPA Form 3 – Notice of Intent

| V | ided by MassDEP: |
|-------------|-----------------------------|
| | MassDEP File Number |
| PART OF THE | Document Transaction Number |
| | Chilmark |
| | City/Town |

| Ma | assachusetts Wetlands Protection Act M.G | S.L. c. 131, §40 | Chilmark City/Town | | |
|---|--|---------------------------|------------------------------|--|--|
| C. | Other Applicable Standards and | Requirements | | | |
| | This is a proposal for an Ecological Restoration complete Appendix A: Ecological Restoration (310 CMR 10.11). | | | | |
| St | reamlined Massachusetts Endangered Spe | cies Act/Wetlands | Protection Act Review | | |
| 1. | Is any portion of the proposed project located in Ethe most recent Estimated Habitat Map of State-L Natural Heritage and Endangered Species Progra Massachusetts Natural Heritage Atlas or go to http://maps.massgis.state.ma.us/PRI EST HAB/ | Wildlife published by the | | | |
| | a. Yes No If yes, include proof of | mailing or hand del | ivery of NOI to: | | |
| | August 1, 2017 b. Date of map Natural Heritage and I Division of Fisheries at 1 Rabbit Hill Road Westborough, MA 015 | and Wildlife | Program | | |
| | If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. If MESA supplemental information is not included with the N by completing Section 1 of this form, the NHESP will require a separate MESA filing which may to 90 days to review (unless noted exceptions in Section 2 apply, see below). | | | | |
| c. Submit Supplemental Information for Endangered Species Review* | | | | | |
| | 1. Percentage/acreage of property to be | altered: | | | |
| | (a) within wetland Resource Area | percentage/acreage | | | |
| | (b) outside Resource Area | percentage/acreage | | | |
| | 2. Assessor's Map or right-of-way plan of | f site | | | |
| 2. | Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work ** | | | | |
| | (a) Project description (including descript buffer zone) | ion of impacts outsid | e of wetland resource area & | | |
| | (b) Photographs representative of the site | е | | | |

^{*} Some projects not in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

^{**} MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process. Page 5 of 9 wpaform3.doc • rev. 2/8/2018



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

| V | ided by MassDEP: |
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| | MassDEP File Number |
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| | City/Town |

C. Other Applicable Standards and Requirements (cont'd)

| | (c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory review/mesa/mesa fee schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and <i>mail to NHESP</i> at above address | | | | | |
|--|---|---|--|----------------------------|--|--|
| Projects altering 10 or more acres of land, also submit: | | | | | | |
| (d) Vegetation cover type map of site | | | | | | |
| | (e) | Project plans showing Priority & Estima | ated Habitat boundaries | | | |
| | (f) OR Check One of the Following | | | | | |
| | 1. 🗌 | Project is exempt from MESA review. Attach applicant letter indicating which http://www.mass.gov/dfwele/dfw/nhesp the NOI must still be sent to NHESP if 310 CMR 10.37 and 10.59.) | /regulatory review/mesa/ | mesa exemptions.htm; | | |
| | 2. 🗌 | Separate MESA review ongoing. | a. NHESP Tracking # | b. Date submitted to NHESP | | |
| | 3. | Separate MESA review completed. Include copy of NHESP "no Take" dete Permit with approved plan. | rmination or valid Conser | vation & Management | | |
| 3. | For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run? | | | | | |
| | a. Not applicable – project is in inland resource area only b. Yes No | | | | | |
| | If yes, inclu | ude proof of mailing, hand delivery, or ele | ectronic delivery of NOI to | either: | | |
| | South Shore the Cape & | e - Cohasset to Rhode Island border, and Islands: | North Shore - Hull to New | Hampshire border: | | |
| | Southeast N Attn: Environ 836 South F New Bedfor | Marine Fisheries - Marine Fisheries Station nmental Reviewer Rodney French Blvd. d, MA 02744 F.EnvReview-South@state.ma.us | Division of Marine Fisherie North Shore Office Attn: Environmental Revie 30 Emerson Avenue Gloucester, MA 01930 Email: <u>DMF.EnvReview</u> | wer | | |

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental ProtectionBureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

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| Ī | MassDEP File Number |
|---|-----------------------------|
| I | Document Transaction Number |
| (| Chilmark |
| (| City/Town |

C. Other Applicable Standards and Requirements (cont'd)

| | 4. | Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)? |
|--|----|---|
| Online Users: Include your document | | a. \square Yes \boxtimes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). Note: electronic filers click on Website. |
| transaction | | b. ACEC |
| number (provided on your receipt page) | 5. | Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00? |
| with all supplementary | | a. 🗌 Yes 🔯 No |
| information you submit to the Department. | 6. | Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)? |
| | | a. 🗌 Yes 🗵 No |
| | 7. | Is this project subject to provisions of the MassDEP Stormwater Management Standards? |
| | | a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if: |
| | | Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3) |
| | | 2. A portion of the site constitutes redevelopment |
| | | 3. Proprietary BMPs are included in the Stormwater Management System. |
| | | b. No. Check why the project is exempt: |
| | | 1. Single-family house |
| | | 2. Emergency road repair |
| | | 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas. |
| | D. | Additional Information |
| | | This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12). |
| | | Applicants must include the following with this Notice of Intent (NOI). See instructions for details. |
| | | Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department. |
| | | 1. Substituting USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.) |
| | | 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area. |



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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

| rov | rided by MassDEP: |
|-----|-----------------------------|
| | MassDEP File Number |
| | Document Transaction Number |
| | Chilmark |
| | City/Town |

D. Additional Information (cont'd)

| Add | litional information (confd) | |
|--------|--|---|
| 3. | | ource area boundary delineations (MassDEP BVW rability, Order of Resource Area Delineation, etc.), dology. |
| 4. 🛛 | List the titles and dates for all plans and oth | er materials submitted with this NOI. |
| (se | ee attached list) | |
| a. F | Plan Title | |
| b. F | Prepared By | c. Signed and Stamped by |
| d. F | Final Revision Date | e. Scale |
| f. A | dditional Plan or Document Title | g. Date |
| 5. 🗌 | If there is more than one property owner, plainted on this form. | ease attach a list of these property owners not |
| 6. | Attach proof of mailing for Natural Heritage | and Endangered Species Program, if needed. |
| 7. | Attach proof of mailing for Massachusetts D | ivision of Marine Fisheries, if needed. |
| 8. 🛛 | Attach NOI Wetland Fee Transmittal Form | |
| 9. | Attach Stormwater Report, if needed. | |
| | | |
| Fees | | |
| 1. | | for projects of any city, town, county, or district Indian tribe housing authority, municipal housing ortation Authority. |
| | ints must submit the following information (in ansmittal Form) to confirm fee payment: | addition to pages 1 and 2 of the NOI Wetland |
| 10220 | | May 13, 2021 |
| | pal Check Number | 3. Check date |
| 102193 | | May 13, 2021 |
| | Check Number Engineering Group, LLC | 5. Check date Sourati |
| | name on check: First Name | 7. Payor name on check: Last Name |
| | | |

E.



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

| ided by MassDEP: |
|-----------------------------|
| MassDEP File Number |
| Document Transaction Number |
| Chilmark |
| City/Town |

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

| 1. Signature of Applicant | 2. Date |
|---|---------|
| 3. Signature of Property Owner (if different) | 4. Date |
| 5. Signature of Representative (if any) | 6. Date |

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



2.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

NOI Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

| Α. | App | licant | Informa | tion |
|----|-----|--------|---------|------|
| | | | | |

1. Location of Project:

| 1 Azalea Lane | Chilmark | |
|----------------------------------|---------------|--|
| a. Street Address | b. City/Town | |
| 10219 | \$97.50 | |
| c. Check number | d. Fee amount | |
| Applicant Mailing Address: | | |
| Adam B. | Leff | |
| a. First Name | b. Last Name | |
| c/o Kevin Goldstein, LUSEO Group | | |
| c Organization | | |

| d. Mailing Address | | |
|--------------------|----------|-------------|
| Miami | FL | 33156 |
| e. Citv/Town | f. State | g. Zip Code |

| n. Phone Number | i. Fax Number | j. Email Address |
|-----------------|---------------|------------------|

| 3. | Property | Owner | (if | different | t): |
|----|----------|-------|-----|-----------|-----|
|----|----------|-------|-----|-----------|-----|

e. City/Town

7875 SW 104th Street, Suite 203

| a. First Name | b. Last Name | |
|--------------------|--------------|--|
| c. Organization | | |
| d. Mailing Address | | |

| e. City/Town | 100.00 | f. State | g. Zip Code |
|--------------|--------|----------|-------------|

| c. Oity/Town | i. otato | g. 2.p 0000 |
|--------------|----------|-------------|
| | | |
| | | |

h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. Please see Instructions before filling out worksheet.

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

NOI Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

| B. Fees (continued) | | | |
|-------------------------|-----------------------------|--------------------------------------|---|
| Step 1/Type of Activity | Step 2/Number of Activities | Step 3/Individual Activity Fee | Step 4/Subtotal Activity Fee |
| Category 1 (a) | 2 | \$110.00 | \$220.00 |
| | | | |
| | | | |
| | Step 5/To | tal Project Fee: | \$220.00 |
| | Step 6/F | ee Payments: | |
| | Total I | Project Fee: | \$220.00 a. Total Fee from Step 5 |
| | State share | of filing Fee: | \$97.50 b. 1/2 Total Fee less \$12.50 |
| | City/Town share | of filling Fee: | \$122.50 c. 1/2 Total Fee plus \$12.50 |

C. Submittal Requirements

a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection Box 4062 Boston, MA 02211

b.) To the Conservation Commission: Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



'Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.





Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

NOI Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. Applicant Information

| 1 Azalea Lane | Chilmark | |
|-------------------|---------------|--|
| a. Street Address | b. City/Town | |
| 10219 | \$97.50 | |
| c. Check number | d. Fee amount | |

2.

1. Location of Project:

| 10219 | | \$97.50 | |
|-----------------------|---------------|------------------|-------------|
| c. Check number | | d. Fee amount | |
| Applicant Mailing Add | dress: | | |
| Adam B. | | Leff | |
| a. First Name | | b. Last Name | |
| c/o Kevin Goldstein, | LUSEO Group | | |
| c. Organization | | | |
| 7875 SW 104th Stree | et, Suite 203 | | |
| d. Mailing Address | | | |
| Miami | | FL | 33156 |
| e. City/Town | | f. State | g. Zip Code |
| h. Phone Number | i. Fax Number | j. Email Address | |
| Property Owner (if di | fferent): | | |
| a. First Name | | b. Last Name | |
| c. Organization | | | |
| d. Mailing Address | · | | |
| e. City/Town | | f. State | g. Zip Code |
| | | | |

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

3.

Fee should be calculated using the following process & worksheet. Please see Instructions before filling out worksheet.

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

NOI Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

| B. Fees (continued) | | | |
|-------------------------|-----------------------------|--------------------------------------|---|
| Step 1/Type of Activity | Step 2/Number of Activities | Step 3/Individual Activity Fee | Step 4/Subtotal Activity Fee |
| Category 1 (a) | 2 | \$110.00 | \$220.00 |
| | | | |
| | | | |
| | Step 5/To | tal Project Fee: | \$220.00 |
| | Step 6/F | ee Payments: | |
| | Total I | Project Fee: | \$220.00 a. Total Fee from Step 5 |
| | State share | of filing Fee: | \$97.50 b. 1/2 Total Fee less \$12.50 |
| | City/Town share | of filling Fee: | \$122.50 c. 1/2 Total Fee plus \$12.50 |

C. Submittal Requirements

a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection Box 4062 Boston, MA 02211

b.) To the Conservation Commission: Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

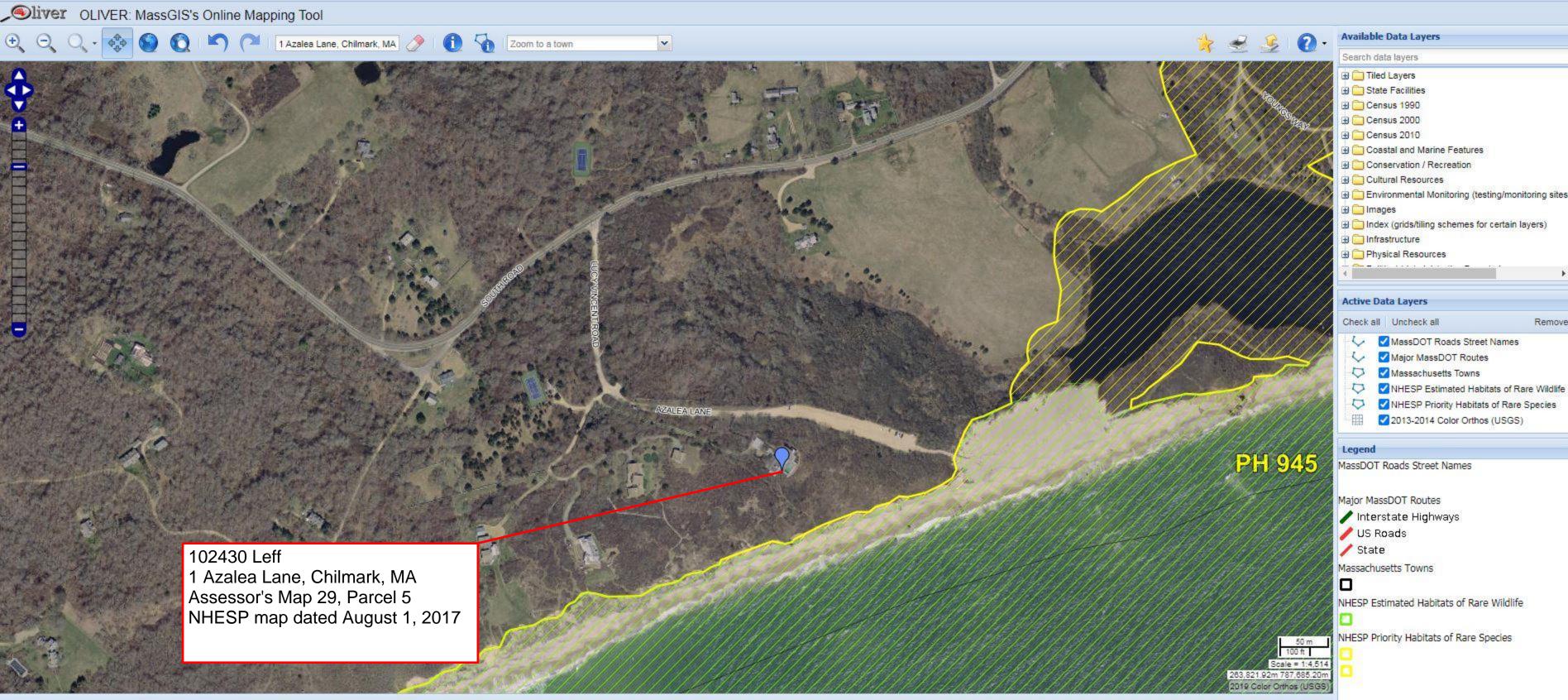
To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

| DEP File Number: |
|---------------------|
| Provided by DEP |
| <u>CHILMARK</u> |

D. ADDITIONAL INFORMATION

- 1. USGS Locus Map, Massachusetts Dukes County
- 2. Plan identifying the location of proposed activities:
 - Landscape Construction Documents prepared for the Leff/Knight Residence in Chilmark, MA by Pouder Design Group dated April 23, 2021, not to scale.
 - Site Plan in Chilmark, MA prepared for Adam Leff by Sourati Engineering Group, LLC dated May 13, 2021, scale 1"=20'.
- 3. Identify the method for BVW and other resource area boundary delineations and attach documentation of the methodology:
 - The resource area boundaries were determined using the three-parameter method that incorporates topography, vegetation and soils.
- 4. Other materials submitted with this NOI
 - Notification to Abutters dated May 10, 2021, Assessor's 300 foot Abutters List Report and Affidavit of Service
 - NHESP Map, date of map August 1, 2017







Martha's Vineyard Office 107 Beach Rd., Suite 202 P.O. Box 4458, Vineyard Haven, MA 02568 Phone: 508-693-9933, Fax: 508-693-4933

Nantucket Office:

35 Old South Road, Nantucket, MA 02554 Phone: 508-228-7888, Fax: 508-228-5511

May 13, 2021

Notification to Abutters Under the Massachusetts Wetland Protection Act and the Town of Chilmark Wetlands Protection Bylaws

Dear Abutter,

In accordance with the second paragraph of the Massachusetts General Laws Chapter 131, Sec. 40, you are hereby notified of the following:

Name of Applicant Is:

Adam B. Leff

The applicant has filed a Notice of Intent with the Chilmark Conservation Commission seeking the following: The project consists of restoring the pool and pool deck area to comply with Massachusetts State Building Codes and relandscaping. No increase in decks or other structures are proposed.

The work is subject to protection under the Wetlands Protection Act (General Laws Chapter 131, Section 40) and the Town of Chilmark Wetlands Protection Bylaws.

The address of the lot where the activity is proposed is:

1 Azalea Lane, Assessor's Map 29, Parcel 5, Chilmark, MA

Notice of the public meeting/hearing, including the date, time and place will be published at least five days in advance in the Vineyard Gazette or the Martha's Vineyard Times, and will be posted in the Chilmark Town Hall no less than forty-eight (48) hours in advance.

Copies of the application can be examined and information about the date, time and place of the meeting/hearing can be obtained from either the Chilmark Conservation Commission office, Chilmark Town Hall, Monday – Friday, 7:30 a.m. to 4:30 p.m. (508-645-2114) or copies of the application may be viewed at Sourati Engineering Group, LLC, 107 Beach Road, Suite 202, Vineyard Haven, MA 02568, (508-693-9933).

You may also contact the Department of Environmental Protection for more information about this application or the Wetlands Protection Act: 508-946-2800.

Sincerely,

George A. Sourati, P.E.

longe Sornati

SEG 102430

AFFIDAVIT OF SERVICE

Under the Massachusetts Wetland Protection Act And the Town of Chilmark Wetlands Protection Bylaws

I, George A. Sourati, hereby certify under the pains and penalties of perjury that to the best of my knowledge I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 9, 1994, in connection with the following matter:

A Notice of Intent filed under the Wetlands Protection Act and the Town of Chilmark Wetlands Protection Bylaws by **Adam B. Leff** with the Chilmark Conservation Commission for work at property located at **1 Azalea Lane**, assessor's map **29**, parcel **5**, Chilmark, Massachusetts.

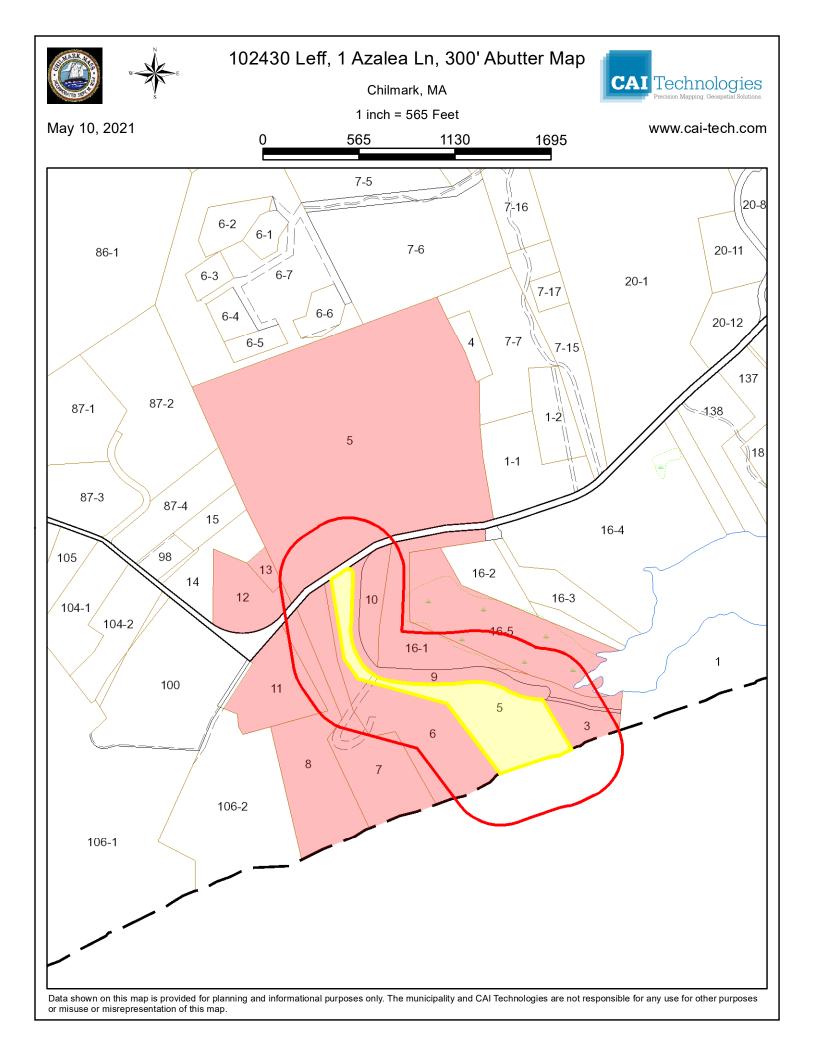
The form of notification, and a certified list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.

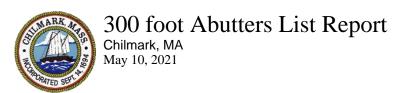
George A. Sourati

Sourati Engineering Group, LLC

Date

5/14/2021





Subject Property:

Parcel Number: 029-005-00

CAMA Number: 029-005-00

Property Address: 1 AZALEA LN

029-003-00

Property Address: 0 LUCY VINCENT RD

Mailing Address: LEFF ADAM B

9903 SANTA MONICA BLVD. STE#422

BEVERLY HILLS. CA 90212

Abutters:

CAMA Number:

5/10/2021

Parcel Number: 025-005-00 Mailing Address: CHILMARK ASSOCIATES

CAMA Number: 025-005-00 C/O DAVID OWEN 255 WEST MORRIS Property Address: 451 SOUTH RD

RD

MORRIS, CT 06763-1001

Parcel Number: 029-003-00 Mailing Address: NASH, LUCY BCH L, MYST PT L& AZALEA

LN LLC

C/O: BERTELETTI, DES. & CO. PC 2400

DISTRICT AVE. STE# 240 **BURLINGTON, MA 01803**

Parcel Number: 029-004-00 Mailing Address: NASH & FRIEDBERG & MEYER &

AZALEA LN LLC ;C/O: BDF CAMA Number: 029-004-00

C/O: BERTELETTI, DES. & CO. PC 2400 Property Address: 0 LUCY VINCENT RD

> DISTRICT AVE. STE# 240 **BURLINGTON. MA 01803**

Parcel Number: 029-006-00 Mailing Address: MYST POINT LLC

209 HURON AVE, STE#1 029-006-00 CAMA Number: Property Address: 15 AZALEA LN PORT HURON, MI 48060

Mailing Address: POWELL WILLIAM M & GAIL E Parcel Number: 029-007-00

029-007-00 CAMA Number: **SCHARGEL**

Property Address: 11 AZALEA LN 216 EAST 30TH ST NEW YORK, NY 10016

Parcel Number: 029-008-00 Mailing Address: NASH RONALD E TRUSTEE ;9 AZALEA

CAMA Number: LANE NOMINEE TRUST 029-008-00

Property Address: 9 AZALEA LN C/O GELFAND RENNERT & FELDMAN

360 HAMILTON AVE, SUITE 100

WHITE PLAINS, NY 10601

Parcel Number: 029-010-00 Mailing Address: NASH & FRIEDBERG & MEYER & CAMA Number: 029-010-00 AZALEA LN LLC

Property Address: 0 LUCY VINCENT RD C/O: BERTELETTI, DES. & CO. PC 2400

DISTRICT AVE. STE# 240

BURLINGTON, MA 01803

Parcel Number: Mailing Address: VINCENT WILLIAM E B 029-011-00 CAMA Number: 2039 BALLTOWN RD 029-011-00

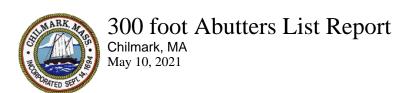
Property Address: 476 SOUTH RD SCHNECTADY, NY 12309

Parcel Number: 029-012-00 Mailing Address: **GUDE ELIZABETH H & MICHAEL**

CAMA Number: 029-012-00 **DREZNER PO BOX 417** Property Address: 477 SOUTH RD

CHILMARK, MA 02535





Parcel Number: 029-013-00

CAMA Number: 029-013-00 Property Address: 477 SOUTH RD

PO BOX 417 CHILMARK, MA 02535

GUDE ELIZABETH H & MICHAEL

Parcel Number: 029-016-01

Mailing Address: ALLEN-POSIN NATHANIEL & KAILA

DREZNER

Mailing Address:

CAMA Number: 029-016-01

421 SOUTH RD

Property Address: 18 LUCY VINCENT RD

CHILMARK, MA 02535

Parcel Number: 029-016-05 CAMA Number: 029-016-05 Property Address: 0 SOUTH RD Mailing Address: ALLEN CLARISSA & MITCHELL POSIN

TRUSTEES

IRUSIEES

ALLEN FARM NOMINEE TRUST 421

SOUTH RD

CHILMARK, MA 02535

| | to property and the property of the property o | racoparticament at the training | 10220 |
|-----|--|--|-------------------|
| 9 | SOURATI ENGINEERING GROUP LLC | EZSHILD) | |
| | 107 BEACH RD SUITE 202, PO BOX 4458 VINEYARD HAVEN, MA 02568 PH. (508) 693-9933 | MARTHA'S VINEYARD BANK 53-7292/2113 | 5-13-21 |
| | PAY TO THE Town & Chilmark One hundred twenty-two and | . 0.7 | \$122.50 |
| | One hundred twenty-two and | 50/100 | DOLLANG |
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| ÷ | #O10214# #211372925# | 45 234572m | |
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Landscape Construction Documents for the LEFF/KNIGHT RESIDENCE

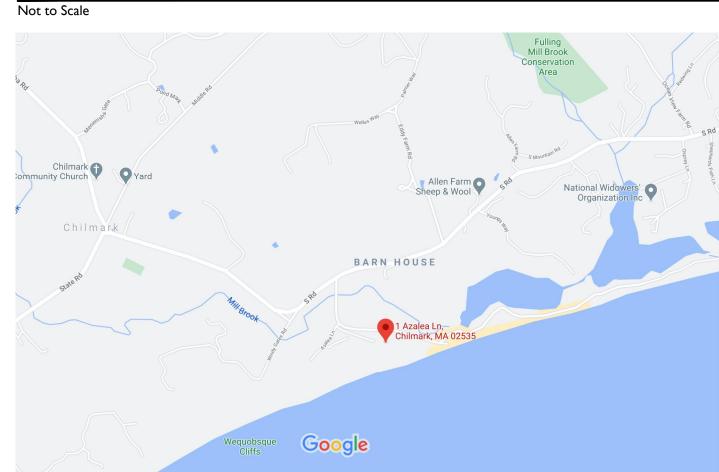
One Azalea Lane
Town of Chilmark, Massachusetts

Map 29, Parcel 5

Pouder Design Group

NEW MILFORD, CT 914.450.0385 POUDER.COM

Location Map



List of Drawings

L-1 Specifications

L-2 Grading, Drainage & Layout Plan

L-3 Planting Plan

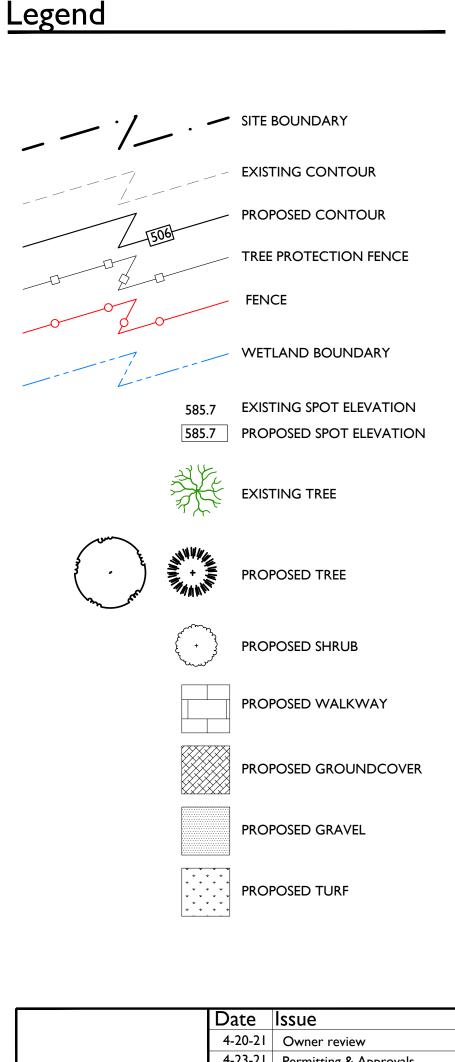
L-4 Details

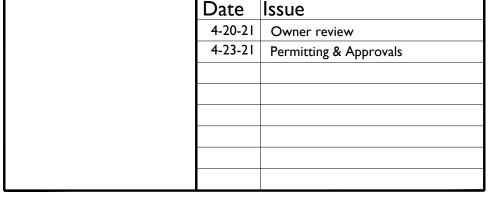
L-5 Details

Base map source:
Digital survey entitled
"Drawing Number 102430ws"
by Sourati Engineering Group
LLC, dated 3/3/2021

April 16, 2021







© Pouder Design Group

GENERAL CONDITIONS

requirements, etc.

The Owner's Representative for site work shown on these drawings shall be the Luseo Engineering, Contact: Kevin A. Goldstein – Managing Director 7875 SW 104 Street, Suite 203 Miami, FL 33156 Tel: +1 305 351 2960 Mob: +1 305 343 9004 Email: kgoldstein@luseogroup.com

Existing Conditions information is taken from available survey data and is intended to show the general existing conditions of the site at the time the survey was prepared. It does not necessarily represent actual or detailed conditions as they may currently exist.

The Contractor shall familiarize himself/herself with the property

boundaries. Absolutely no access onto, or use of, adjacent sites shall be permitted. Prior to all excavation the Contractor shall contact "Call Before

You Dig' in full comformance with applicable regulations. Contractor shall provide all labor, materials and equipment to

perform mobilization and contract closeout as specified herein.

Mobilization shall include all pre-construction items needed to successfully set up the site for construction operations including but not limited to access improvements, dewatering, protecting utilities and vegetation, compliance with permit

Staging area(s) shall be determined in the field by Pouder Design and Contractor.

Cleanup shall be conducted after the work is completed and before final inspection of the work by the Owner. Cleanup shall include removal of all excess materials from the site and the restoration of all areas damaged during the work to their original condition.

It is the Contractor's responsibility to proceed with the utmost care in executing the work.

The Contractor shall verify existing conditions in the field prior to commencement of work and shall notify Pouder Design in writing of all discrepancies. The Contractor shall accept actual field conditions upon which to to complete the work of the base bid. No change orders will be accepted based upon variations from the conditions shown. All work requiring modification of the plans shall be determined by the Owner's Representative.

The Contractor shall repair at his/her expense all utilities, vegetation and facilities disturbed by construction and noted on the drawings to remain undisturbed to their original condition and to the satisfaction of the Owner's representative and appropriate regulatory agency, if any.

Contractor shall immediately notify the Pouder Design of all discrepancies between the specifications, construction drawings and site conditions. In the case of a discrepancy between the specifications and drawings, the more stringent requirement shall

Prior to all construction activities, the Contractor shall conduct a thorough investigation of surface and subsurface conditions to determine the extent of work required to complete the project and shall include all such costs in the Base Bid.

Contractor shall comply with applicable Town, State and Federal permit requirements, guidelines, and laws.

The Contractor shall indemnify and hold harmless the Owner and Owner's Representative from all claims arising from work done at

Contractors shall coordinate their work with that of other trades working at the site.

The Contractor is responsible for conducting his work in a safe and responsible manner. All activities at the site shall be conducted in accordance with the latest OSHA requirements and regulations.

All unsuitable, excess, and unusable materials including but not limited to soil, fill, rocks, stumps, roots and construction debris shall be removed from the site and disposed of in a legal manner by the Contractor and at the Contractor's expense. No burying of debris on-site will be allowed.

These drawings and specifications, including the ideas, design and arrangements represented thereby are the property of The Pouder Design Group, P.C.. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specified project for which they have been prepared without the express written consent of The Pouder Design Group, P.C.

Use written dimensions only. Do not scale dimensions.

Prior to any demolition, contractor shall notify Pouder Design at least 48 hours before work is scheduled to begin.

Trees to be preserved on the site shall be protected against damage during construction operations.

No material shall be stored or construction operation shall be conducted within the tree protection fencing. Tree protection shall remain until designated to be removed by Pouder Design and then shall be removed from the site. Minimum limits of tree protection shall be the drip line of the tree.

Any damage done to existing tree crowns or root systems shall be repaired immediately. Roots exposed and/or damaged during construction shall be cut off cleanly inside the exposed or damaged area and topsoil shall be immediately placed over the exposed root area. Damaged trees shall be watered and protected from future

All branch pruning, root pruning and fertilization work to be performed by a certified licensed Arborist and reputable tree care company. All pruning work to be completed in accordance with standards set forth by the National Arborist Association.

Exploratory testing is the Contractor's responsibility.

Dewatering and maintenance of surface runoff during the course of work shall be the Contractor's responsibility and shall be performed in accordance local, state, and federal regulations.

Contractor shall provide and install all materials and shall perform all work in accordance with recognized good standards of practice.

Measurement and payment for GENERAL CONDITIONS shall be included in all other items and no separate payment shall be made

GRADING, EXCAVATION AND EARTHWORK REMOVALS Under this item the Contractor shall perform such site preparation, Under this item, the Contractor shall conduct grading, excavation demolition, clearing and grubbing as is necessary within the Project and earthwork operations as is necessary inorder to install the

Area in order to install the required facilities. This shall include

Landscape Architect shall have the final authority on the removal of

all trees. Any trees removed contrary to the orders of the

Landscape Architect shall be replaced at the Contractor's sole

Structures and utilities shall be suitably protected from damage,

or allowed in the backfill shall be disposed of off-site by the

Contractor. Burning is prohibited.

permanent stabilization.

grass seed and revegetated.

ready to be "on-line".

site. All stumps shall be ground or cut flush.

including but not limited to existing lighting, buildings, walls, fencing

All materials removed under this item which are not to be replaced

All tree trunks, limbs and brush, concrete, pavements and debris

become the Contractor's property, and shall be removed from the

Fill all depressions caused by the clearing and grubbing operations.

Final grades shall be established as quickly as possible to provide

Graded or clear areas subject to erosion for six months or less

suitable growing season to produce an erosion retardant cover.

Any disturbed areas not otherwise finished shall be seeded with

All drains or catch basins shall be protected with hay bale filters

PREPARATION shall be a lump sum and shall include all items

Measurement and payment for REMOVALS AND SITE

(inlet protection) throughout the construction period or until the

stormwater management system is complete, stabilized and deemed

described under this item. No separate quantity measurement shall

shall be stabilized with a mulch cover where seeding may not have a

Remove temporary fencing following completion of work.

materials as directed by the L.A..

expense.

such work as installing temporary protective fencing, tree Locate site utilities using utility marking service. Contact "Call protection fencing, removing shrubbery, trees, roots, stumps, Before You Dig" at 811, or on-line, in full accordance with organic matter, masonry, block walls, fences, sidewalks, curbs, signs, concrete walls and slabs, any and all pavements, large boulders on applicable regulations. Provide Owner's Representative with ticket top of the ground, footings, rubbish and other objectionable

Grading, Excavation and Earthwork shall include cutting, filling, Strip and remove turf, topsoil and organic matter in all areas grading and compacting subsoil for site work, including drainage intended to be replaced with pavements, safety surfaces, walks and

Contractor shall coordinate field adjustments with the Landscape Do not interfere with the operations of other trades working at Strip and stockpile topsoil for reuse during planting operations.

required facilities.

Install temporary protective fencing around work area and tree Transitions from new surfaces to existing surfaces shall be smooth, protection fencing around plants to be retained. Fencing shall not obstruct safe passage or visibility. unless otherwise noted. Unless otherwise noted, stabilize all slopes equal to, or in excess of Trees and other features noted to be retained shall be saved. The 2:1 slopes with 100% biodegradable erosion control blankets, type

> Wetland Plants, Amherst MA, or equal approved by L.A. All grades to be reviewed with Pouder Design prior to final

All proposed utilities shall be constructed in accordance with

"CS2" 70% straw, 30% coconut fiber, Source: New England

Frames, grates, and covers shall be flush with existing adjacent grades. All structures to remain shall be protected unless otherwise noted to be demolished.

The contractor shall check and verify all proposed grades, dimensions, existing conditions and utilities and report all discrepancies to the L.A. for his direction before proceeding with the work. All grading work shall be staked out using grade stakes. Obtain the L.A's approval of stake out prior to beginning work.

All pavements, lawns and plant beds shall have a 2% (min) pitch that allows positive drainage away from buildings and in the direction of a drainage course or structure.

All final grading shall be approved by the L.A. prior to planting, seeding or sodding.

Deposit fill and backfill in layers not more than 4 in. loose depth for material compacted by hand-operated compaction equipment, and not more than 6" for material compacted by track machinery. Soil and subsoil which has been compacted by wheeled machinery and/or site construction shall be loosened to permit proper drainage and infiltration to the satisfaction of the Owner's

Achieve a compaction of 95% maximum dry density as determined by ASTM D1557 for all subgrade areas.

Where utilities are to remain in place, provide adequate means of protection and precaution during operations. Conform to the requirements of the utility company having jurisdiction. Should uncharted, or incorrectly charted underground or other utilities be encountered during earthwork operations, immediately consult the utility owner for directions.

Cooperate with the owner and public and/or private utility companies in keeping their respective services and facilities in operation. Do not interrupt existing utilities serving facilities occupied and used, except when permitted in writing by the Owner's Representative, and then only after acceptable temporary utility services have been provided. Provide a minimum 48 hour

Verify that survey benchmark and intended elevations for the work are as indicated. Identify required lines, levels, contours, and datum. Protect benchmarks, survey control points, existing structures, sidewalks, paving, and curbs from excavating equipment and vehicular traffic.

Excavation is unclassified, and includes excavation to subgrade elevations indicated, regardless of the character of materials and obstructions encountered. If unsuitable materials (as determined by soils testing service) are encountered at the required subgrade elevations, carry excavations deeper and replace the excavated material as directed by the LA. Remove unsuitable material from the site. Prevent surface and subsurface water from flowing into excavations and dewater as necessary.

Do not excavate wet subsoil.

When excavating through roots of trees to remain, perform work by hand and cut roots with sharp saw.

Maintain optimum moisture content of fill materials to attain required compaction density.

Where settling is measurable or observable at graded areas during the general project warranty period, remove surface (pavement, lawn or other surface), add appropriate backfill material, compact and replace surface treatment. Restore appearance, quality and condition of surface or finish to match adjacent work, and eliminate evidence of restoration to greatest extent possible.

Measurement for GRADING, EXCAVATION AND EARTHWORK shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall **GRANITE EDGING** Under this Item, the Contractor shall furnish and install GRANITE EDGING in accordance with the plans, specifications, and directions of the LA.

Edging shall be in size, color, surface finish and thickness as shown on the drawings and approved by LA and Owner. Sample required.

Foundation Material: 3000 PSI Concrete

The L.A. reserves the right to reject on or after delivery any material which does not, in their opinion, meet these specifications.

Contractor is advised that multiple shallow sub-surface utilities exisit in the immediate vicinity of the work. The utmost care shall be used in excavating for, and installing the edging to assure that no damage to existing utilities occurs. Any damage to existing utilities shall be repaired to the satisfaction of the Owner's Representative at the Contractor's sole expense. Trenching shall be by hand only. No mechanical equipment shall be used for trenching.

Edges, borders, and corners shall be finished to true and neat lines. Special cutting and variations in size and finish, are all to be included in the bid price. No sawn edges permitted on exposed top edge.

Before edging is placed the fine grade shall be prepared to line and grade and compacted with an approved self-propelling roller or tamper. All hollows and depressions which develop under rolling shall be filled with acceptable material and shall again be rolled. This process of shaping, filling, and rolling shall be repeated until no

The Contractor shall remove from the subgrade all debris, foreign material, and all other undesirable material designated by the L.A. The fine grade shall not be muddy or otherwise unsatisfactory when the foundation material is placed upon it. If the fine grade becomes rutted or displaced, due to any cause whatsoever, the Contractor shall regrade same without additional payment.

Concrete foundation shall be laid in an excavated trench.

Pavers shall be clean when placed and shall be tightly fitted. Pavers which are not satisfactorily clean shall be washed before placing. The pavers shall be placed as per approved patterns, true to line and grade unless otherwise noted on the plans.

After the pavers are placed, topsoil shall be backfilled into the trench compacted. All joints shall be completely filled. After the joints are completely filled, the pavement shall be swept clean.

Samples: The Contractor shall submit two (2) samples of the pavers they propose to use for approval by the LA. All pavers used on the work shall conform to the approved samples. All samples shall be clearly labeled with Contract No., manufacturer, color, and finish.

Measurement and Payment for STONE EDGING shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall be made.

DRIVEWAY TURF & GRAVEL

Under this Item, the Contractor shall furnish and install DRIVEWAY TURF & GRAVEL to restore the existing driveway consisting of two tire lanes and a parking area of decorative gravel over a processed stone base, and a central strip of grass over

Gravel shall be as selected by Owner.

Topsoil shall be as specified under Planting.

Turf Seed shall be Jonathan Green Black Beauty Heavy Traffic Grass Seed, or equal consisting of Tall Fescue and Perennial Rye

The Contractor shall remove all debris, foreign material, and all other undesirable material designated by the L.A within the gravel strips and the parking area and shall smooth out potholes and high spots. Processed stone shall be added as necessary and compacted with a plate tamper to create a uniform surface of the travel lanes.

Gravel shall be spread over the travel lanes and compacted

The Contractor shall remove all debris, foreign material, and all other undesirable material designated by the L.A and shall smooth out potholes and high spots. Topsoil shall be added as necessary to provide a 6" depth throughout the grass strip and shall be raked.

Grass seed shall be evenly spread and mulched with weed free straw and rolled.

Samples: The Contractor shall submit two (2) samples of the gravel they propose to use for approval by the LA. All gravel used on the work shall conform to the approved samples. All samples shall be clearly labeled with Contract No., manufacturer, color, and finish.

Measurement and Payment for DRIVEWAY TURF & GRAVEL shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall be made.

Contractor shall stake out all work in the field according to the layout plan prior to initiating construction. Layout shall be field

Contractor shall prepare an As-Built Plan showing locations of all subsurface utilities encountered during construction as well as all

utilities installed as part of construction.

Blend in all new grades with smooth transitions to existing

vérified by Landscape Architect and/or Engineer prior to

standards, rules and regulations. Contractor shall provide and install all materials and shall perform

All work shall be done in strict conformance with applicable codes,

all work in accordance with recognized good standards of practice. All dimensions and radii are to face of curb or face of wall at downhill grade unless otherwise noted.

Coordinate utility work with the locations and final grades of all other work. Where conflicts occur, notify the LA prior to installation of utilities and make adjustments as required. If new utilities have been installed in conflict of curbs, walls, pavings or other structures at depths too shallow for proper cover beneath final new grades or incorrect finish grade, they shall be adjusted or removed and replaced as necessary without extra compensation.

Expansion joints shall occur in all concrete slabs and walls as shown on drawings but in no case shall they be more than 20 ft. apart unless otherwise noted. Expansion joints are to be located at all

Staging area(s) shall be determined in the field by the Owner's Representative and Contractor.

buildings, curbs, steps, and walls abutting new concrete slabs.

Measurement and payment for LAYOUT shall be included in all other items and no separate payment shall be made for this item.

POOL ENCLOSURE FENCE

Under this item, the Contractor shall provide and install new pool enclosure fences, gates, planters, and stainless steel deck guardrails with welded posts in accordance with the plans, specifications and directions of the L.A.

All components of the pool enclosure shall fully conform with Commonwealth of Massachusetts and Town of Chilmark pool enclosure standards.

Miscellaneous hardware shall be included in this item.

Planters which form part of the pool enclosure system shall be securely fastened to the existing deck.

Pedestrian gates shall be self-closing and equipped with Magnalatch Series 3 Top pull latch installed in full accordance with manufacturer's recommendations.

MEASUREMENT AND PAYMENT:

The quantity of **POOL ENCLOSURE FENCE AND DECK GUARDRAIL** shall be a lump sum and shall include all items described under this item and no separate quantity measurement shall be made.

STONE PAVERS

Under this Item, the Contractor shall furnish and install STONE PAVERS in accordance with the plans, specifications, and directions of the Engineer.

Pavers shall be in size, color, surface finish and thickness as shown on the drawings and approved by LA and Owner. Sample required.

Setting Bed: Stone dust used for setting beds and joints shall be crushed granite

Foundation Material: Material for foundation shall consist of straight three-quarter (3/4") inch coarse aggregate per ASTM C33, free from organic or other deleterious material.

The L.A. reserves the right to reject on or after delivery any material which does not, in their opinion, meet these specifications.

The design of pavers shall be subject to approval by the L.A.. All edges, borders, and corners of paved areas shall be finished to true and neat lines. Special cutting, soldier courses, color patterns, various shapes, and variations in size and finish, are all to be included in the bid price.

Before any pavers are placed upon the fine grade, the fine grade shall be prepared to line and grade and compacted with an approved self-propelling roller or tamper. All hollows and depressions which develop under rolling shall be filled with acceptable material and shall again be rolled. This process of shaping, filling, and rolling shall be repeated until no depressions

The Contractor shall remove from the subgrade all debris, foreign material, and all other undesirable material designated by the L.A. The fine grade shall not be muddy or otherwise unsatisfactory when the foundation material is placed upon it. If the fine grade becomes rutted or displaced, due to any cause whatsoever, the Contractor shall regrade same without additional payment.

Material for Foundation shall be evenly spread on a prepared sub-grade in the position shown on the plans or directed by the L.A., in four inch (4") layers, each layer to be rolled with a vibratory plate compactor other approved method satisfactory to the L.A, to the thickness shown on the plans or as directed by the L.A..

Pavers shall be clean when placed. Pavers which are not satisfactorily clean shall be washed before placing. The pavers shall be placed as per approved patterns, true to line and grade unless otherwise noted on the plans, joints shall be as shown on the

After the pavers are placed, topsoil shall be placed between stones and compacted. All joints shall be completely filled. After the joints are completely filled, the pavement shall be swept clean.

Samples: The Contractor shall submit two (2) samples of the pavers they propose to use for approval by the LA. All pavers used on the work shall conform to the approved samples. A three-pound (3 lb.) bag of proposed foundation material and stone dust shall be submitted for approval, with a sieve analysis and name of supplier attached. All samples shall be clearly labeled with Contract No., manufacturer, color, and finish.

Measurement and Payment for STONE PAVERS shall be a lump sum and shall include all items described under this item. No separate quantity measurement shall be made.

PLANTING:

Planting shall include finish grading, placement of topsoil, planting of trees, shrubs, perennials, groundcovers and lawns, and mulching.

Contractor shall excavate all plant pits and furnish, plant, maintain and replace all plant material specified in the plant schedule in accordance with the Contract Documents.

All plant material shall be nursery grown and shall meet standards of the American Standard for Nursery Stock, ANSI Z.60.1, latest edition unless otherwise noted. All plants shall be subject to the Landscape Architect's inspection and approval at the nursery and at the site before any planting work is begun. Plants with excessive girdling or circling roots and/or any other deformities may be rejected at the sole discretion of the Landscape Architect.

Provide topsoil to assure a minimum 6" depth of topsoil in all planting beds and lawn areas. Topsoil mix shall be uniform quality, fertile, friable, natural loam or sandy loam free of subsoil, clay lumps, brush, stones, hard pan or other deleterious materials larger than 2 inches in greatest dimension, lime, cement, ashes, slag, concrete, tar residues, tarred paper, boards, chips, sticks and other undesirable material.

pH range: 5.5 - 7.6

Organic Content: 5% - 20% Natural topsoil may be amended with approved materials, by

approved methods, to meet the above specifications. Fertilizer shall be ROOTS brand microrhizal fungi innoculant or approved equal and shall be applied in accordance with manufacturer's recommendations.

Mulch shall be natural color, shredded cedar bark mulch free from deleterious materials. Provide mulch sample to L.A. for approval prior to installation. Absolutely no dyed or colored mulch shall be

Deciduous plants shall be planted between March I and December 15, or as approved by the L.A. Evergreen plant materials shall be planted between April 1 and October 15, or as approved by the

Planting pits shall be excavated to the dimensions as shown on the drawings. Do not excavate to depth greater than required. Where, in the sole opinion of the L.A. the subgrade material is unsuitable, the width of the planting pit shall be increased in size by 50%.

All excess and unusable materials shall be removed from the site by the Contractor.

Locations of all new plants shall be verified in the field with the LA. Contractor shall layout all plants in their proposed locations for inspection and approval by LA to planting.

Plants shall be placed plumb in the center of planting pits. Bed edges shall be neatly spade cut. Leave the site in clean, satisfactory condition ready to receive

Protect all existing vegetation to remain from damage during construction.

Use extreme caution to protect utilities during planting.

It is the intent of this contract to avoid any disturbance to existing vegetation on the site other than those specifically designated for removal. Adjustments shall be made in the field at the direction of

The contractor shall familiarize himself with the location of mechanical equipment and utilities existing or proposed in the area to be planted and shall, where necessary, relocate plants at the direction of the LA.

contractor shall verify all quantities shown on the list and shall be responsible for furnishing all materials required to complete the

The contractor shall verify all grades, dimensions, and existing

Quantities given in the plant list are for reference only. The

conditions and report any discrepancies to the LA. Contractor shall guarantee all plant material for one year from time

of LA's final written approval. Contractor to coordinate planting, seeding and tree work with

Contractor responsible for restoring all areas disturbed due to

planting operations.

20-gallon "TreeGator" bags on all trees.

Contractor's base bid shall include twice-weekly hand watering of all new plantings and seeded areas for the duration of the first growing season or for two months, whichever is longer. Use

The measurement of PLANTING shall be the number of plants of each size planted and maintained, in accordance with the plans and specifications, to the satisfaction of the LA. Payment for PLANTING shall be a unit price per EACH plant of each size, as specified in the Plant Schedule, including all incidentals in accordance with the plans and specifications.

Specifications Leff-Knight Residence

Chilmark, Mass 16 April 21

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Date Issue 4-20-21 Owner review 4-23-21 | Permitting & Approvals

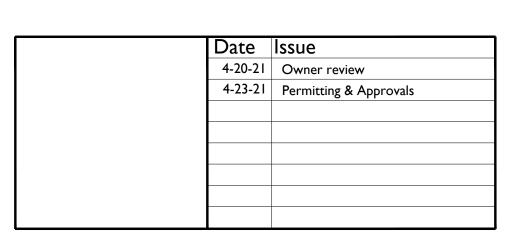
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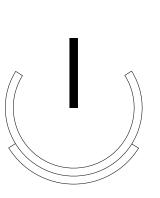
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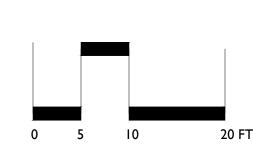


Grading & Layout Plan Leff-Knight Residence I Azalea Lane Chilmark, Mass 16 APRIL 21

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6 Hydrangea macrophyll - 125 Matteuccia struthiopteris 35 Polystichum actrostichioides Topsoil, Seed and Add Gravel to driveway See Specs 50 Polystichum actrostichioides 6 Clethra alnifolia – - 6 Viburnum trilobum 24 25.98 cbf5"pc - 4 Hydrangea 'Limelight' 2 Amelanchier canadensis 5 Myrica pennsylvanica Decorative Gravel 25 Arctostaphylos uva-ursi 3 llex verticillata - 7 Hydrangea macrophylla 'Annabelle' - Retain Extg Hydrangea on Trellis ∕– 6 Hydrangea 'Limelight" — 14/Rosa rugosa 6 Viburnum trilobum well 6 Myrica pennsylvanica – II Comptonia peregina – 3 llex verticillata 8 Comptonja peregina / LEADER BRANCH MUST NOT BE DAMAGED OR REMOVED; TREE MAY BE PRUNED ONLY AT THE DIRECTION OF CEDAR TREE STAKES (2 PER TREE) W/ 2 STRANDS 10 GA GALV. WIRE AROUND TRUNK AND 1/2" DIA. REINFORCED BLACK RUBBER HOSE SET CONNECTION AT 1/2 TO 2/3 TREE HT. PRUNE ONLY AT DIRECTION EXCAVATE MIN 3X ROOT BALL DIAMETER - REMOVE BURLAP, TWINE AND ALL PLANT TAGS - CROWN OF ROOTBALL SHALL BE SET EVEN WITH OR SLIGHTLY ABOVE PROVIDE SINGLE EXCAVATED AREA FOR GROUPS OF PLANTS ADJACENT FINISHED GRADE. SET TOP OF ROOTBALL AT TYP OR SLIGHTLY ABOVE GRADE LOOSEN BURLAP WRAP FROM WHERE PLANT WAS DUG ROOTBALL AND FOLD DOWN TOP ONE-THIRD (1/3) INTO TREE PIT. PERENNIAL PLANTS. LOOSEN - MULCH 2" DEEP, AS APPROVED BY LANDSCAPE ARCHITECT GIRDLING OR CIRCLING 2" DEEP MULCH AS ROOTS. SET ROOT BALL APPROVED BY LA 3" DEEP SAUCER EDGE/DAM FOR FLUSH W. FINISH GRADE OF FINISHED GRADE WATER RETENTION (TYP.) MULCH - FINISH GRADE FINISHED GRADE 3" HT. SOIL SAUCER TO RETAIN WATER ALL METAL BASKETS SHALL BE CUT AND FOLDED DOWN BELOW THE LOWER 1/3 - PLANTING SOIL MIX OF THE ROOTBALL; BASKETS NOT FOLDED DOWN SHALL BE CUT & COMPACTED OR UNDISTURBED SUBGRADE REMOVED - 2 INCH DEEP MULCH A SINGLE AREA MAY BE PLANTING SOIL - PLANTING SOIL MIX **EXCAVATED FOR GROUPS OF** PLACE ROOTBALL ON UNDISTURBED OR COMPACTED SUBGRADE. PROVIDE 6" (MIN.) DRAINAGE TO THE TREE PIT PERIMETER SHRUB PLANTINGS; BARE ROOT PLANTING MAY BE SET **EQUAL** EQUAL IN HOLES ONLY 2X ROOT EQ 3) DECIDUOUS TREE PLANTING GROUNDCOVER / HERBACEOUS PLANTING SHRUB PLANTING

/Volumes/Shared/Data/Projects/Leff-Knight Chilmark 2020/I azalea 2021-04-21_I00pct.dwg, L-3 Planting, Fri Apr 23 14:55:22 2021

Planting Plan Leff-Knight Residence I Azalea Lane Chilmark, Mass

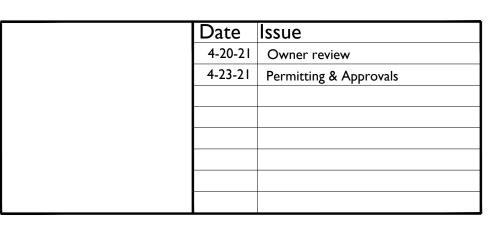
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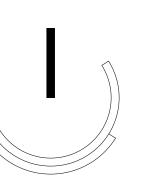
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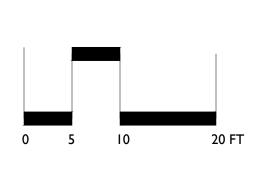
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Plant Schedule

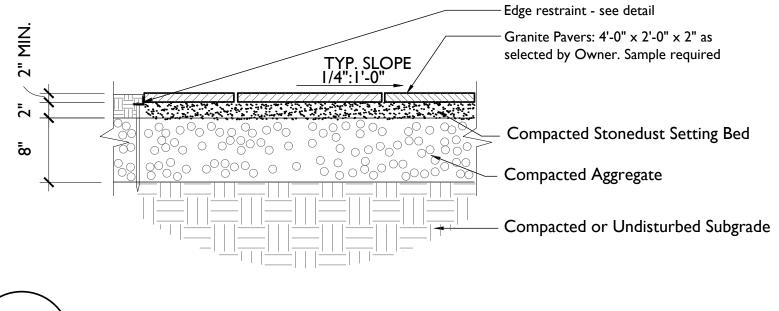
| Quantity | Botanical Name | Common Name | Category | Size | Remarks |
|----------|--|-------------------------|-----------|----------|--|
| 100 | Alchemilla mollis | Lady's Mantle | Perennial | N/A | Transplant existing - locations TBD in field w LA |
| 2 | Amelanchier canadensis | Shadblow | Tree | 10-12 ft | Multi-stem B&B |
| 25 | Arctostaphylos uva-ursi 'Massachusetts' | bearberry | Shrub | 1 gal | |
| 11 | Clethra alnifolia 'Ruby Spice' | Pink Compact Clethra | Shrub | 24-30" | |
| 19 | Comptonia peregrina | Sweet Fern | Shrub | 3 gal | |
| 16 | Hydrangea 'Limelight" | Hydrangea-PG | Shrub | 5 gal | |
| 23 | Hydrangea m. 'Annabelle' | Hydrangea | Shrub | 5 gal | |
| 9 | Ilex verticillata | Winterberry | Shrub | 3-4 ft | |
| 125 | Matteuccia struthiopteris | Ostrich Fern | Perennial | 1 gal | |
| 11 | Myrica pennsylvanica | Bayberry | Shrub | 24-30" | |
| 85 | Polystichum acrostichoides | Christmas Fern | Perennial | 1 gal | |
| 28 | Rosa rugosa | Rugosa Rose | Shrub | 3 gal | |
| 5 | Vaccinium cormbosum | Highbush Blueberry | Shrub | 3-4ft | |
| 18 | Viburnum trilobum | Viburnum | Shrub | 3-4 ft | |





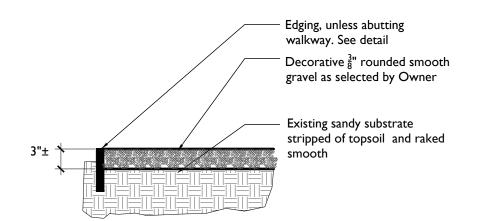


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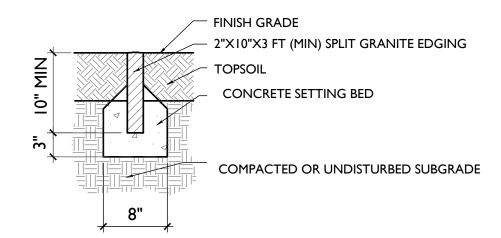
Granite Walkway on Stonedust

Scale: 3/4"=1'-0"



Gravel Bed

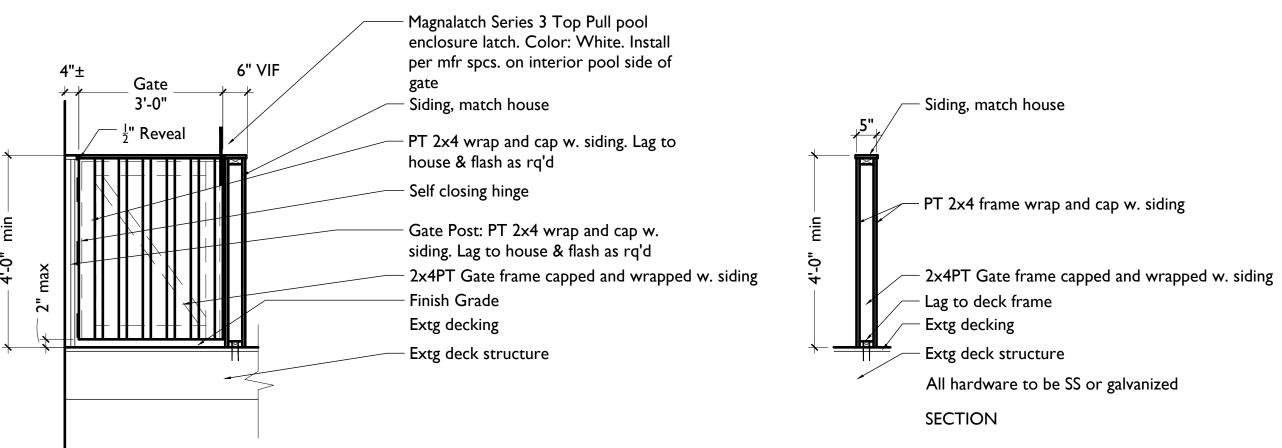
SCALE: 1/2"=1'-0"



Granite Edging

SCALE: 1"=1'-0"





| Da | te | Issue |
|-----|-------|------------------------|
| 4-2 | 20-21 | Owner review |
| 4-2 | 23-21 | Permitting & Approvals |
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Details Leff-Knight Residence

I Azalea Lane Chilmark, Mass

16 APRIL 21

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Scale : 1/2" = 1'-0"

Pool Enclosure & Deck Guardrail, Type I

/Volumes/Shared/Data/Projects/Leff-Knight Chilmark 2020/1 azalea 2021-04-21_100pct.dwg, L-4 Details, Fri Apr 23 14:55:24 2021

