

Smith Lane Residence

4 Smith Lane, Chilmark, MA



**ISSUED FOR PERMIT &
CONSTRUCTION**

8-14-2023

MATERIALS KEY

	EARTH		SHINGLES (ELEVATION)
	GRAVEL		CLAPBOARD (ELEVATION)
	CAST CONCRETE		BRICK (ELEVATION)
	SOLID WOOD		BRICK (SECTION)
	PLYWOOD		GYPSUM WALL BOARD
	RIGID INSULATION		CMU MASONRY
	SPRAY INSULATION - LOW DENSITY		ARCHITECTURAL STONEWORK
	SPRAY INSULATION - HIGH DENSITY		ARCHITECTURAL STONEWORK (ELEVATION)
	BLOWN-IN INSULATION		METAL

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	OC	ON CENTER
CIP CONC	CAST-IN-PLACE CONCRETE	PCF	POUND PER CUBIC FOOT
DIA	DIAMETER	PLAM	PLASTIC LAMINATE
DN	DOWN	PT	PRESERVATIVE TREATED
EXIST	EXISTING	PVC	POLYVINYL CHLORIDE
FIN	FINISH	R	RISER
FLR	FLOOR	RO	ROUGH OPENING
FT	FOOT	SF	SQUARE FOOT
GC	GENERAL CONTRACTOR	SHT	SHEET
GWB	GYPSUM WALL BOARD	SIM	SIMILAR
HP	HIGH POINT	SPEC	SPECIFICATIONS
IN	INCH	T	TREAD
MAX	MAXIMUM	T&G	TONGUE AND GROOVE
MDF	MEDIUM DENSITY FIBERBOARD	TYP	TYPICAL
MDO	MEDIUM DENSITY OVERLAY	VCT	VINYL COMPOSITION TILE
MIN	MINIMUM	VIF	VERIFY IN FIELD
MISC	MISCELLANEOUS	W/	WITH
MO	MASONRY OPENING	W/O	WITHOUT
NTS	NOT TO SCALE	&	AND
		@	AT
		#	NUMBER
		⊕	CENTERLINE

DRAWING LIST

GENERAL	G100 INDEX SHEET
	G101 DOOR & WINDOW SCHEDULES
DEMOLITION	D100 BASEMENT DEMOLITION PLAN
	D101 FIRST FLOOR DEMOLITION PLAN
	D102 SECOND FLOOR DEMOLITION PLAN
	D103 ROOF DEMOLITION PLAN
ARCHITECTURE	A100 BASEMENT FLOOR PLAN
	A101 FIRST FLOOR PLAN
	A102 SECOND FLOOR PLAN
	A103 ROOF PLAN
	A120 BASEMENT POWER/DATE PLAN
	A121 FIRST FLOOR POWER/DATE PLAN
	A122 SECOND FLOOR POWER/DATE PLAN
	A130 BASEMENT REFLECTED CEILING PLAN
	A131 FIRST FLOOR REFLECTED CEILING PLAN
	A132 SECOND FLOOR REFLECTED CEILING PLAN
	A200 EXTERIOR ELEVATIONS
	A201 EXTERIOR ELEVATIONS
	A300 BUILDING SECTIONS
	A501 STAIR AND BRIDGE
STRUCTURE	S100 FOUNDATION PLAN
	S101 FIRST FLOOR FRAMING PLAN
	S102 SECOND FLOOR FRAMING PLAN
	S103 ROOF FRAMING PLAN
	S104 STRUCTURAL DETAILS

BUILDING/ENERGY CODE

ENERGY CODE: 2023 MASSACHUSETTS ENERGY CODE
 - IECC 2021 BASE CODE
 - 2023 MA STRETCH ENERGY CODE
 - SECTION R503 - ALTERATIONS

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT		
CLIMATE ZONE	ZONE 5	
	MAXIMUM	PROPOSED
FENESTRATION (U-FACTOR)	0.3	0.28
SKYLIGHT (SHGC)	0.4	0.26
FENESTRATION (SHGC)	0.4	0.3
	MINIMUM R-VALUE	PROPOSED R-VALUE
CEILING/ROOF		
WOOD FRAMED WALL		
WOOD FRAMED WALL W/ CONTINUOUS INSULATION		
FLOOR		
BASEMENT WALL	SEE HOME ENERGY RATING CERTIFICATE FOR PERFORMATIVE VALUES	SEE HOME ENERGY RATING CERTIFICATE FOR PERFORMATIVE VALUES
BASEMENT WALL W/ CONTINUOUS INSULATION		
SLAB AND DEPTH		
CRAWL SPACE WALL		
CRAWL SPACE WALL W/ CONTINUOUS INSULATION		
HERS RATING	55 MAX	55

SYMBOLS

	ELEVATION MARKER		ROOM MARKER
	DOOR REFERENCE NUMBER		WINDOW REFERENCE NUMBER
	INTERIOR ELEVATION REFERENCE		SECTION CALL OUT
	EXTERIOR ELEVATION REFERENCE		NORTH ARROW
	STRUCTURAL GRID LINE		DETAIL REFERENCE
	ELEVATION CALL OUT		PARTITION REFERENCE
	KEYNOTE REFERENCE		CASEWORK REFERENCE

GENERAL PROJECT NOTES

- THE PROJECT CONSISTS OF INTERIOR RENOVATION OF A SINGLE FAMILY RESIDENCE AND RELATED SITE WORK.
- THE DRAWINGS ARE INTENDED TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULES. PROMPTLY REPORT DISCREPANCIES IN THE DRAWINGS AND BETWEEN DRAWINGS, SPECIFICATIONS AND SCHEDULES TO THE ARCHITECT AND/OR OWNER.
- THE CONTRACTOR IS TO COMPLETE THE WORK IN COMPLIANCE WITH ZONING ORDINANCES, BUILDING CODES, ENERGY CODES AND GENERAL LAWS APPLICABLE TO THE REGULATORY JURISDICTION OF THE PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR'S SUB-CONTRACTORS TO REVIEW EXISTING SITE AND BUILDING CONDITIONS TO THE EXTENT NECESSARY TO CONFIRM THAT THE WORK CAN BE EXECUTED WITHOUT DELAYS OR ADDITIONAL COST.
- THE CONTRACTOR IS TO LAYOUT AND CONFIRM SITE ELEVATIONS AND SETBACK LINES SHOWN ON CIVIL, LANDSCAPE AND ARCHITECTURAL PLANS. DISCREPANCIES BETWEEN PROPOSED LOCATIONS AND ELEVATIONS MUST BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO THE INSTALLATION OF THE WORK.
- SEE GENERAL NOTES ON INDIVIDUAL DRAWING SHEETS.

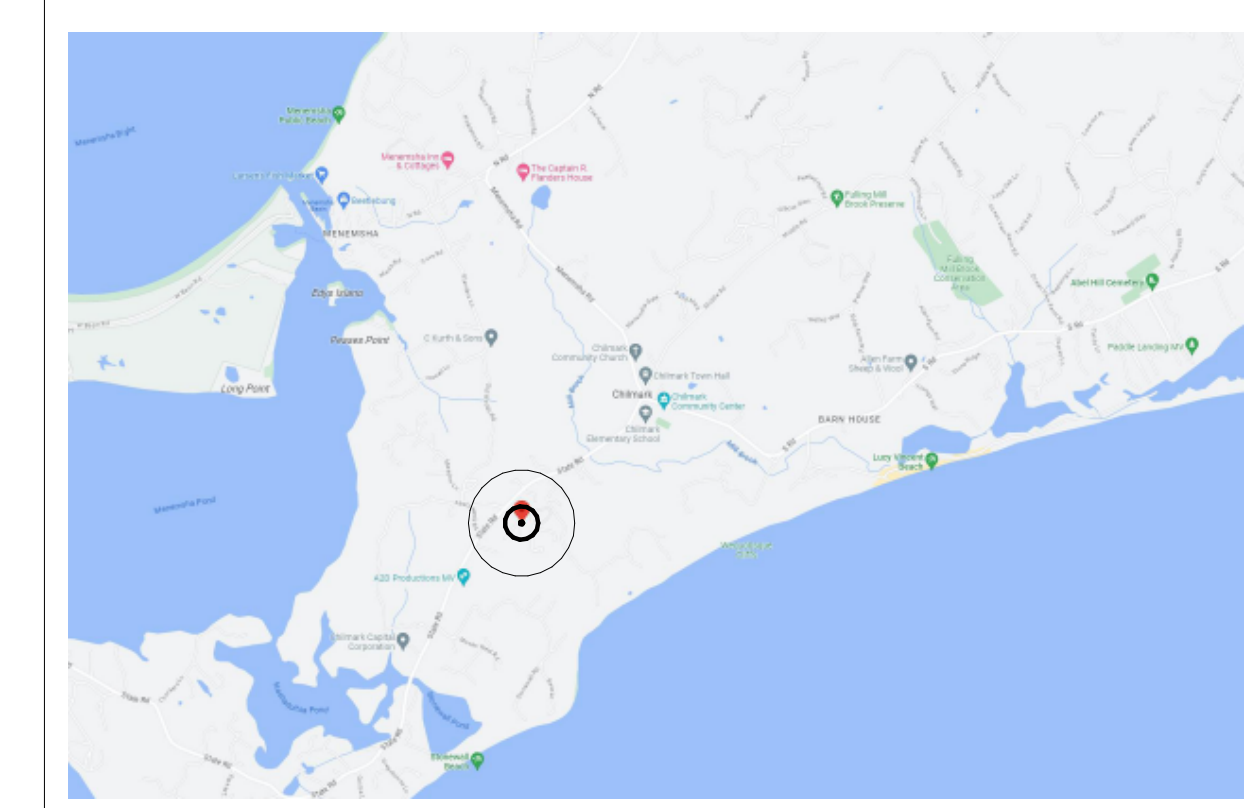
FLOOR AREA INFORMATION

FLOOR	AREA
BASEMENT	708 SF (NOT INCLUDED)
GROUND FLOOR	2,038 SF
SECOND FLOOR	1,475 SF
TOTAL	3,513 SF
LOT AREA	43,560 SF

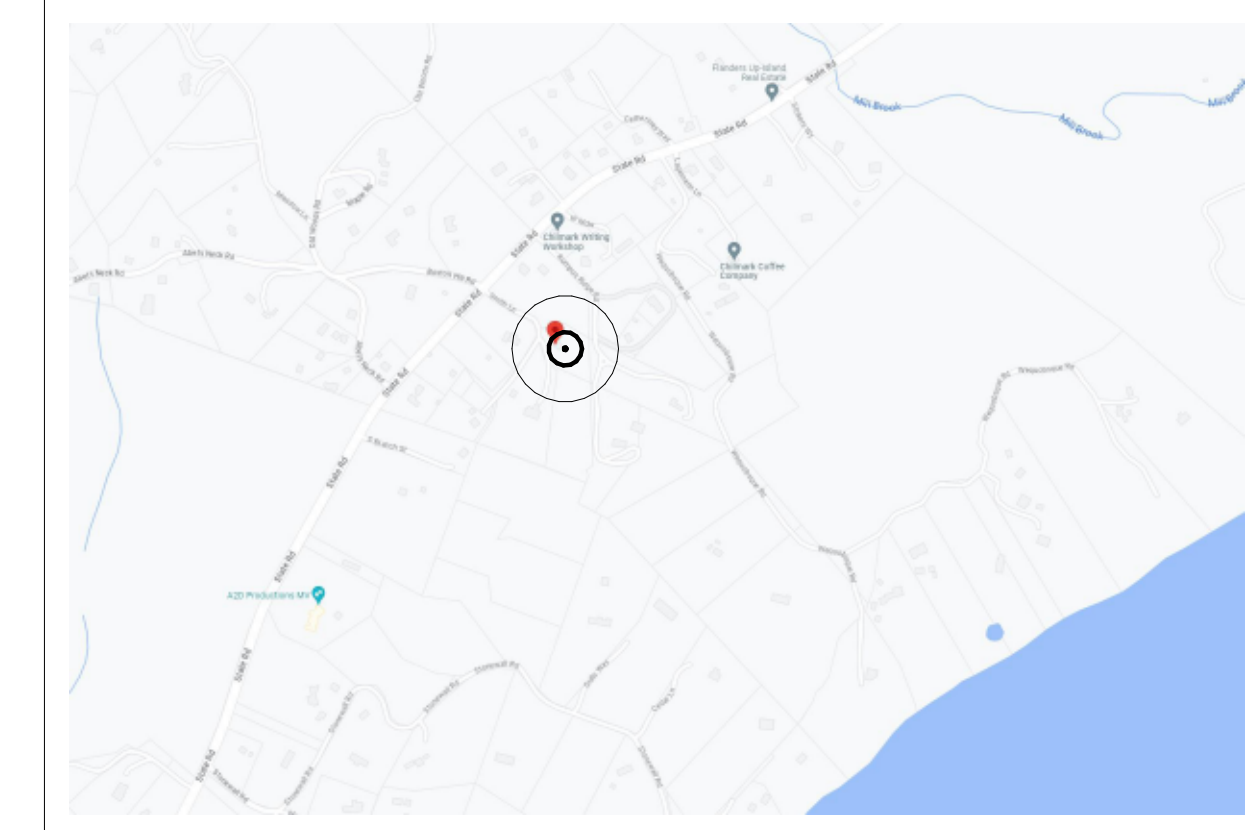
ZONING INFORMATION

PROJECT ADDRESS	4 SMITH LANE CHILMARK, MA	
DEED BOOK	BOOK 667, PAGE 410 & 412	
PLAN REFERENCE	PLAN BOOK 30, PLAN 26	
ZONING ORDINANCE	TOWN OF CHILMARK ZONING BY-LAWS, 08/01/2022	
ZONING DISTRICT	6	
ZONING TABLE		
	MINIMUM	PROPOSED
LOT AREA	43,560 SF	NO CHANGE
LOT FRONTAGE	100'	NO CHANGE
FRONT SETBACK	25'	NO CHANGE
SIDE SETBACK	25'	NO CHANGE
REAR SETBACK	25'	NO CHANGE
	MAXIMUM	PROPOSED
BUILDING HEIGHT	24'	NO CHANGE
F.A.R.	0.XX	

LOCATION



LOCUS



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023

SCALE: As indicated

DRAWN: SW

CHECKED:

SHEET INFO:
INDEX SHEET

G100

WINDOW SCHEDULE

WINDOW #	TYPE MARK	MANUF. / PRODUCT LINE	WINDOW TYPE	WIDTH	HEIGHT	TEMPERED	COMMENTS
LEVEL 1							
101	K	TBD	CASEMENT	3'-1"	4'-2"		
102	N	TBD	FIXED	5'-2"	4'-2"		
103	D	TBD	CASEMENT	2'-1"	4'-2"		
104	D	TBD	CASEMENT	2'-1"	4'-2"		
105	D	TBD	CASEMENT	2'-1"	4'-2"		
106	G	TBD	CASEMENT	1'-10"	3'-2"		
107	M	TBD	CASEMENT	2'-10"	5'-3"		
108	H	TBD	CASEMENT	2'-8"	5'-5"		
109	H	TBD	CASEMENT	2'-8"	5'-5"		
110	G	TBD	CASEMENT	1'-10"	3'-2"		
111	G	TBD	CASEMENT	1'-10"	3'-2"		
112	A	TBD	CASEMENT	2'-2"	3'-9"		
113	A	TBD	CASEMENT	2'-2"	3'-9"		
114	A	TBD	CASEMENT	2'-2"	3'-9"		
115	A	TBD	CASEMENT	2'-2"	3'-9"		
116	A	TBD	CASEMENT	2'-2"	3'-9"		
117	A	TBD	CASEMENT	2'-2"	3'-9"		
118	A	TBD	CASEMENT	2'-2"	3'-9"		
119	F	TBD	CASEMENT	1'-10"	3'-9"		
120	F	TBD	CASEMENT	1'-10"	3'-9"		
121	F	TBD	CASEMENT	1'-10"	3'-9"		
LEVEL 2							
201	N	TBD	FIXED	5'-2"	4'-2"		
202	D	TBD	CASEMENT	2'-1"	4'-2"		
203	E	TBD	CASEMENT	2'-1"	3'-5"		
204	O	TBD	FIXED	5'-2"	3'-5"		
205	E	TBD	CASEMENT	2'-1"	3'-5"		
206	E	TBD	CASEMENT	2'-1"	3'-5"		
207	J	TBD	CASEMENT	1'-10"	2'-9 1/2"		
208	J	TBD	CASEMENT	1'-10"	2'-9 1/2"		
209	C	TBD	CASEMENT	2'-6"	4'-2"		
210	C	TBD	CASEMENT	2'-6"	4'-2"		
211	B	TBD	CASEMENT	2'-11"	4'-2"		
212	B	TBD	CASEMENT	2'-11"	4'-2"		
213	B	TBD	CASEMENT	2'-11"	4'-2"		
214	B	TBD	CASEMENT	2'-11"	4'-2"		
215	F	TBD	CASEMENT	1'-10"	3'-9"		
216	F	TBD	CASEMENT	1'-10"	3'-9"		
217	F	TBD	CASEMENT	1'-10"	3'-9"		
218	P	TBD	FIXED	4'-1"	4'-2"		
219	R	TBD	FIXED	6'-0"	4'-2"		
220	C	TBD	CASEMENT	2'-6"	4'-2"		
221	S	TBD	FIXED	4'-9"	4'-2"		
222	N	TBD	FIXED	5'-2"	4'-2"		
223	C	TBD	CASEMENT	2'-6"	4'-2"		

DOOR SCHEDULE

DOOR #	MANUFACTURER	DOOR TYPE	WIDTH	HEIGHT	HARDWARE	COMMENTS
001A	TRUESTYLE	SINGLE SWING	3'-0"	6'-8"	PASSAGE	INSULATED BULKHEAD DOOR
001B	TRUESTYLE	DOUBLE SWING	5'-0"	6'-8"	DUMMY	
001C	TRUESTYLE	SINGLE SWING	2'-8"	6'-8"	PASSAGE	
001D	TRUESTYLE	DOUBLE SWING	5'-0"	6'-8"	DUMMY	
002	TRUESTYLE	SINGLE SWING	3'-0"	6'-8"	PASSAGE	INSULATED MECHANICAL ROOM DOOR
101	TRUESTYLE	SINGLE SWING	2'-6"	6'-8"	PRIVACY	
102	TBD	SINGLE SWING - HALF LITE	2'-8"	6'-8"	ENTRY	NO DIVIDED LITES
103	TRUESTYLE	SINGLE SWING	2'-6"	6'-8"	PRIVACY	
104	TRUESTYLE	SINGLE SWING	2'-6"	6'-8"	PRIVACY	
105	TRUESTYLE	CASED OPENING	4'-11 1/2"	6'-8"	N/A	EXISTING OPENING
106A	TBD	SINGLE SWING - FULL GLASS	3'-0"	6'-8"	ENTRY	NO DIVIDED LITES
108	TRUESTYLE	SINGLE SWING	2'-6"	6'-8"	PRIVACY	
112	TBD	SLIDING GLASS DOOR	5'-11 1/4"	6'-10 3/8"	SLIDER	EXISTING OPENING
201	TBD	SINGLE SWING - FULL GLASS	2'-10"	6'-8"	ENTRY	NO DIVIDED LITES
204A	TRUESTYLE	SINGLE SWING - FULL GLASS	2'-6"	6'-8"	PASSAGE	NO DIVIDED LITES
204B	TRUESTYLE	SINGLE SWING - FULL GLASS	2'-6"	6'-8"	PASSAGE	NO DIVIDED LITES
205	TRUESTYLE	POCKET DOOR	2'-6"	6'-8"	POCKET PRIVACY	
206A	TRUESTYLE	POCKET DOOR	2'-6"	6'-8"	POCKET PRIVACY	
206B	TRUESTYLE	SINGLE SWING	2'-4"	6'-8"	PRIVACY	
207	TRUESTYLE	SINGLE SWING	2'-4"	6'-8"	PRIVACY	
208A	TRUESTYLE	SINGLE SWING	2'-6"	6'-8"	PRIVACY	
208B	TBD	SINGLE SWING - FULL GLASS	3'-0"	6'-8"	ENTRY	NO DIVIDED LITES

Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023

SCALE:

DRAWN: Author

CHECKED: Checker

SHEET INFO:
DOOR & WINDOW SCHEDULES

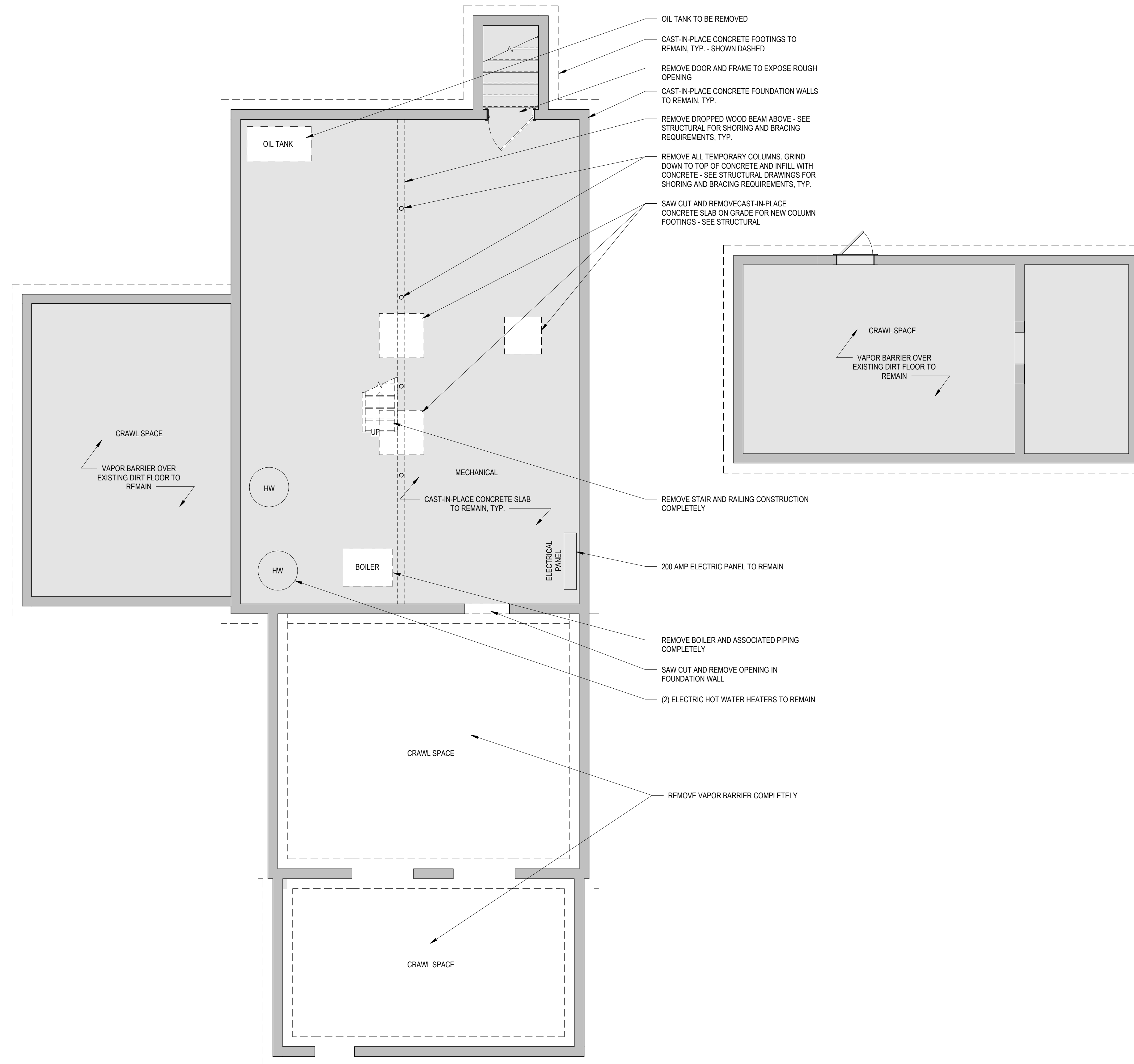
G101

GENERAL DEMOLITION NOTES

1. TAKE CARE TO PROTECT AREAS OUTSIDE THE SCOPE OF WORK FROM DAMAGE OR CONTAMINATION BY CONSTRUCTION DUST & DEBRIS
2. ALL ROUGH SAWN PINE WALL COVERING TO BE REMOVED COMPLETELY
3. ALL EXTERIOR WALLS TO HAVE INTERIOR FINISH AND INSULATION REMOVED TO EXPOSE ROUGH FRAMING FOR MOLD REMEDIATION AND APPLICATION OF NEW INSULATION
4. ALL ROOF CEILINGS (INCLUDING BELOW DECKS) TO HAVE INTERIOR FINISH AND INSULATION REMOVED TO EXPOSE ROUGH FRAMING FOR MOLD REMEDIATION AND APPLICATION OF NEW INSULATION
5. ALL BASE BOARD HEATING ELEMENTS TO BE REMOVED

DEMOLITION KEY

- EXISTING WALLS TO REMAIN
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED AND/OR SALVAGED (SEE NOTATIONS FOR CLARIFICATION)



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: Author
CHECKED: Checker

SHEET INFO:
BASEMENT DEMOLITION PLAN

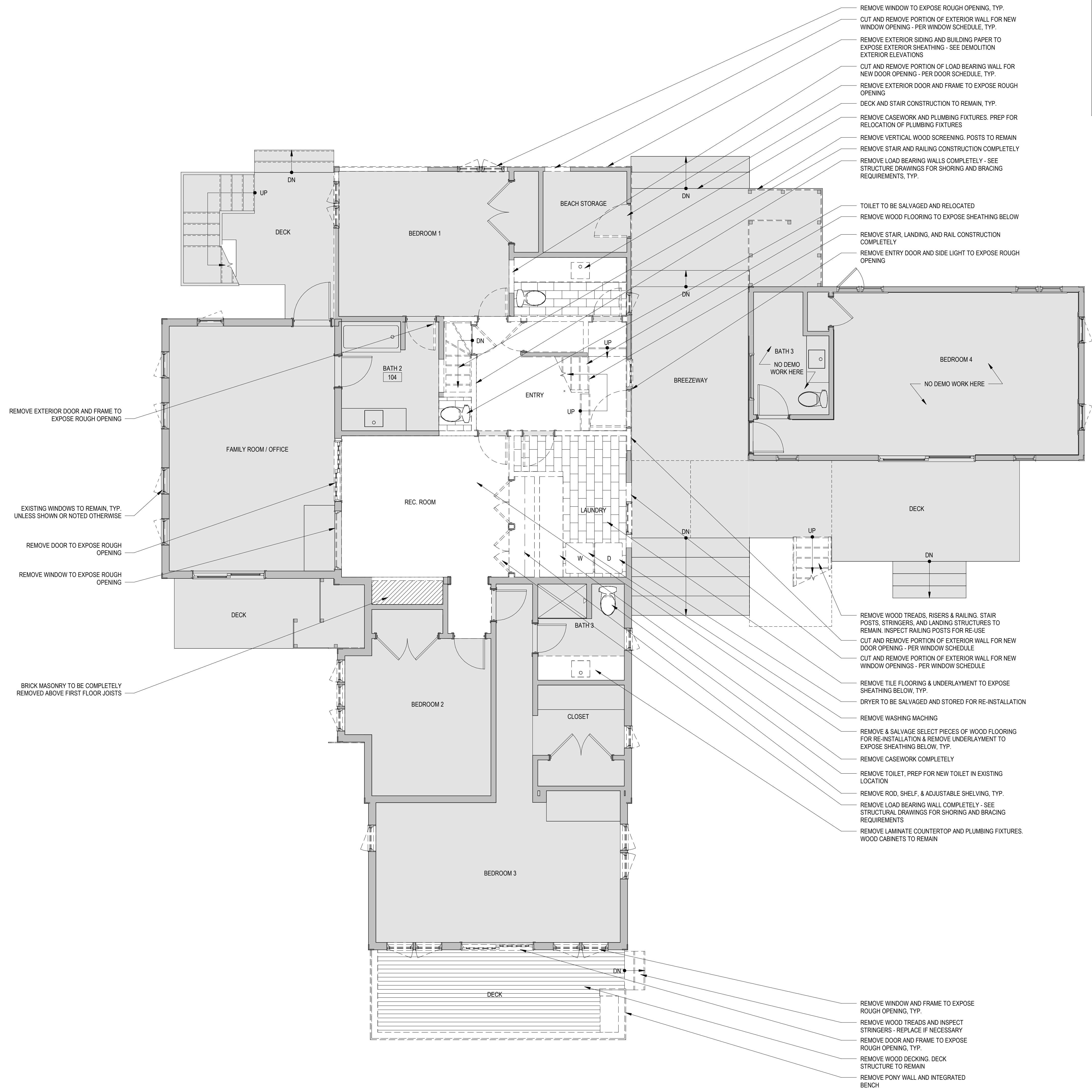
D100

GENERAL DEMOLITION NOTES

1. TAKE CARE TO PROTECT AREAS OUTSIDE THE SCOPE OF WORK FROM DAMAGE OR CONTAMINATION BY CONSTRUCTION DUST & DEBRIS
2. ALL ROUGH SAWN PINE WALL COVERING TO BE REMOVED COMPLETELY
3. ALL EXTERIOR WALLS TO HAVE INTERIOR FINISH AND INSULATION REMOVED TO EXPOSE ROUGH FRAMING FOR MOLD REMEDIATION AND APPLICATION OF NEW INSULATION
4. ALL ROOF CEILINGS (INCLUDING BELOW DECKS) TO HAVE INTERIOR FINISH AND INSULATION REMOVED TO EXPOSE ROUGH FRAMING FOR MOLD REMEDIATION AND APPLICATION OF NEW INSULATION
5. ALL BASE BOARD HEATING ELEMENTS TO BE REMOVED

DEMOLITION KEY

- EXISTING WALLS TO REMAIN
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED AND/OR SALVAGED (SEE NOTATIONS FOR CLARIFICATION)



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: Author
CHECKED: Checker




SHEET INFO:
FIRST FLOOR DEMOLITION PLAN

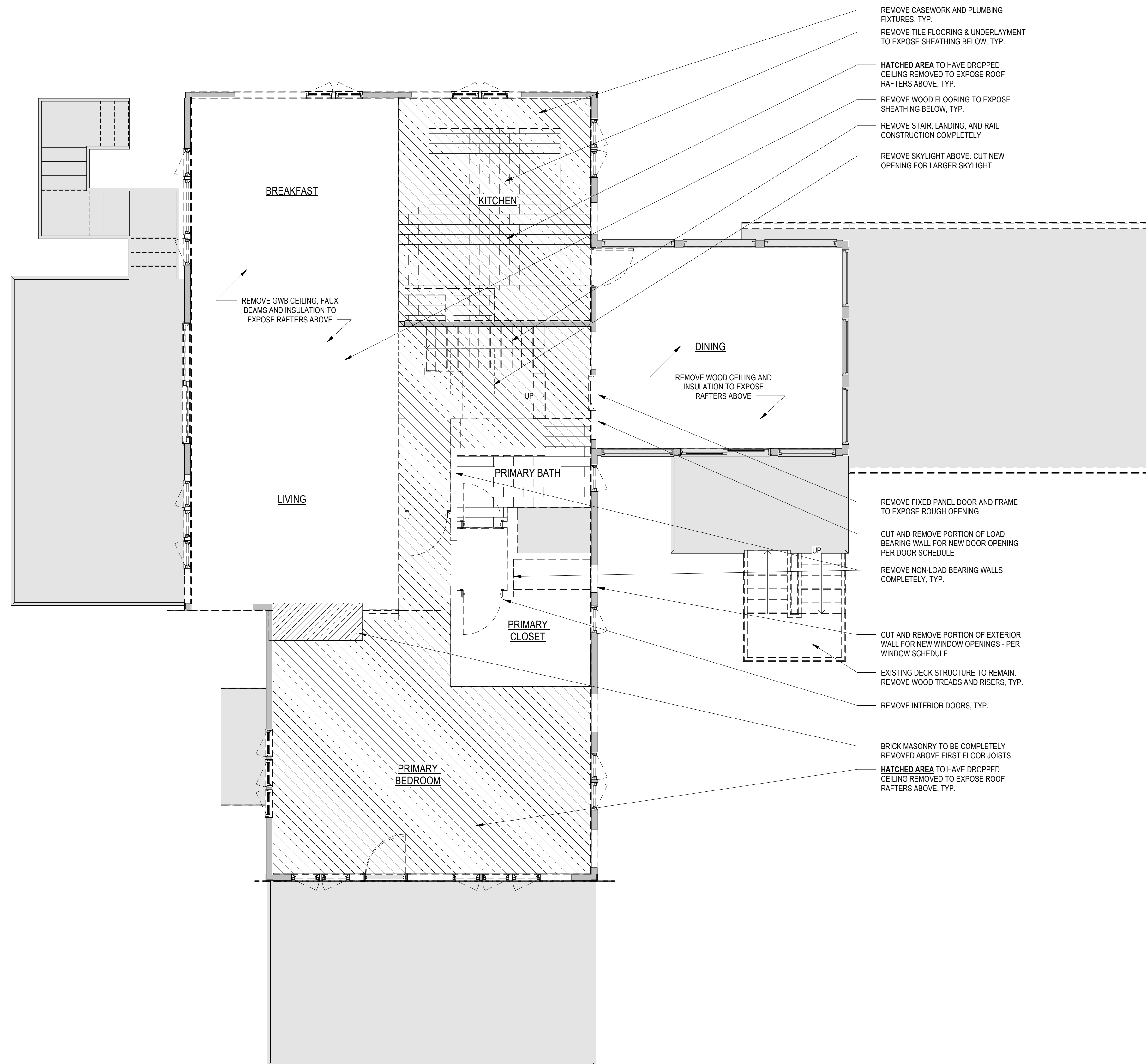
D101

GENERAL DEMOLITION NOTES

1. TAKE CARE TO PROTECT AREAS OUTSIDE THE SCOPE OF WORK FROM DAMAGE OR CONTAMINATION BY CONSTRUCTION DUST & DEBRIS
2. ALL ROUGH SAWN PINE WALL COVERING TO BE REMOVED COMPLETELY
3. ALL EXTERIOR WALLS TO HAVE INTERIOR FINISH AND INSULATION REMOVED TO EXPOSE ROUGH FRAMING FOR MOLD REMEDIATION AND APPLICATION OF NEW INSULATION
4. ALL ROOF CEILINGS (INCLUDING BELOW DECKS) TO HAVE INTERIOR FINISH AND INSULATION REMOVED TO EXPOSE ROUGH FRAMING FOR MOLD REMEDIATION AND APPLICATION OF NEW INSULATION
5. ALL BASE BOARD HEATING ELEMENTS TO BE REMOVED

DEMOLITION KEY

-  EXISTING WALLS TO REMAIN
-  EXISTING TO REMAIN
-  EXISTING TO BE REMOVED AND/OR SALVAGED (SEE NOTATIONS FOR CLARIFICATION)



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: Author
CHECKED: Checker

SHEET INFO:
SECOND FLOOR DEMOLITION PLAN

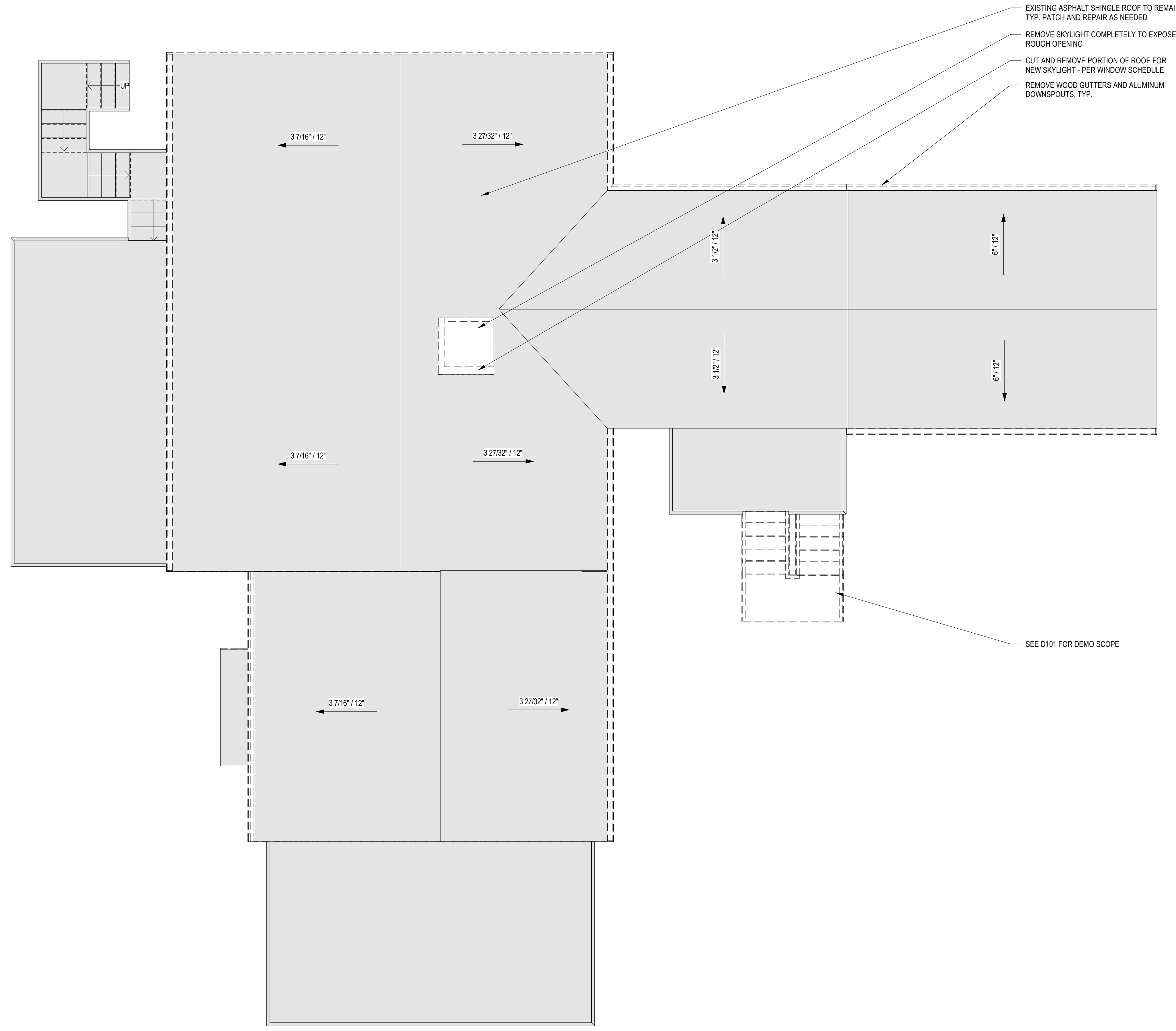
D102

GENERAL DEMOLITION NOTES

1. TAKE CARE TO PROTECT AREAS OUTSIDE THE SCOPE OF WORK FROM DAMAGE OR CONTAMINATION BY CONSTRUCTION DUST & DEBRIS
2. ALL ROUGH SAWN PINE WALL COVERING TO BE REMOVED COMPLETELY
3. ALL EXTERIOR WALLS TO HAVE INTERIOR FINISH AND INSULATION REMOVED TO EXPOSE ROUGH FRAMING FOR MOLD REMEDIATION AND APPLICATION OF NEW INSULATION
4. ALL ROOF CEILINGS (INCLUDING BELOW DECKS) TO HAVE INTERIOR FINISH AND INSULATION REMOVED TO EXPOSE ROUGH FRAMING FOR MOLD REMEDIATION AND APPLICATION OF NEW INSULATION
5. ALL BASE BOARD HEATING ELEMENTS TO BE REMOVED

DEMOLITION KEY

- EXISTING WALLS TO REMAIN
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED AND/OR SALVAGED (SEE NOTATIONS FOR CLARIFICATION)



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

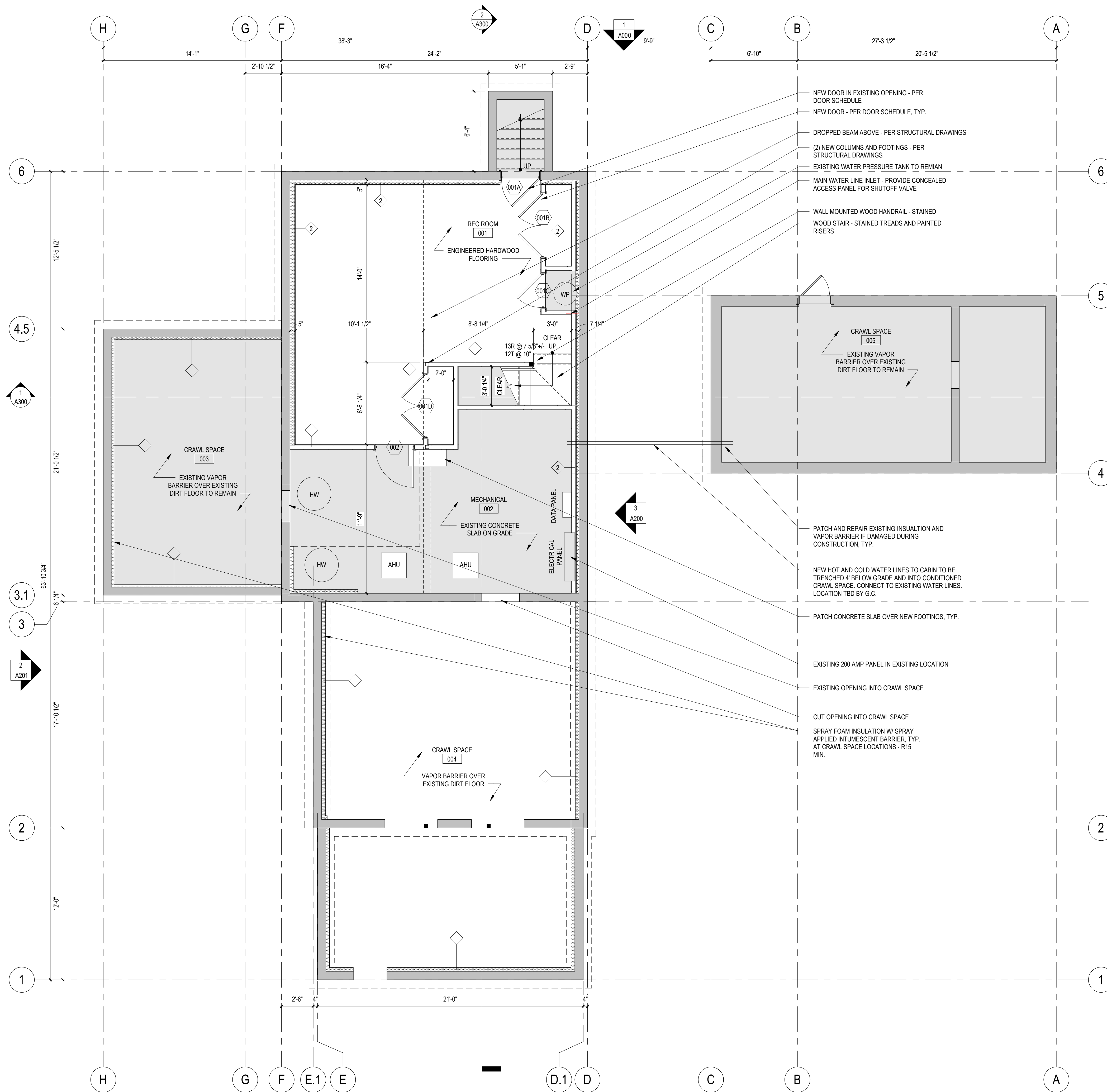
ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: Author
CHECKED: Checker

SHEET INFO:
ROOF DEMOLITION PLAN

D103



- ### GENERAL FLOOR PLAN NOTES
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW EXISTING AND PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS AND EXISTING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
 - AS-BUILT DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ORDERING OR FABRICATING.
 - GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
 - EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
 - INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
 - PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
 - SEE DOOR SCHEDULE FOR DOOR INFORMATION.
 - SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.
 - SEE FINISH SCHEDULE FOR FINISH INFORMATION.
 - ALL EXTERIOR WALL CAVITIES, RIM JOISTS, AND RAFTER CAVITIES TO BE REMEDIATED FOR MOLD AND MILDEW AND FILLED WITH FULL DEPTH HIGH DENSITY SPRAY FOAM INSULATION.

WALL KEY

	EXISTING TO REMAIN
	NEW INTERIOR PARTITION
	NEW INSULATED INTERIOR FURRING WALL
	NEW EXTERIOR WALL
	NEW CONCRETE FOUNDATION WALL

Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED:
SHEET INFO:
BASEMENT FLOOR PLAN

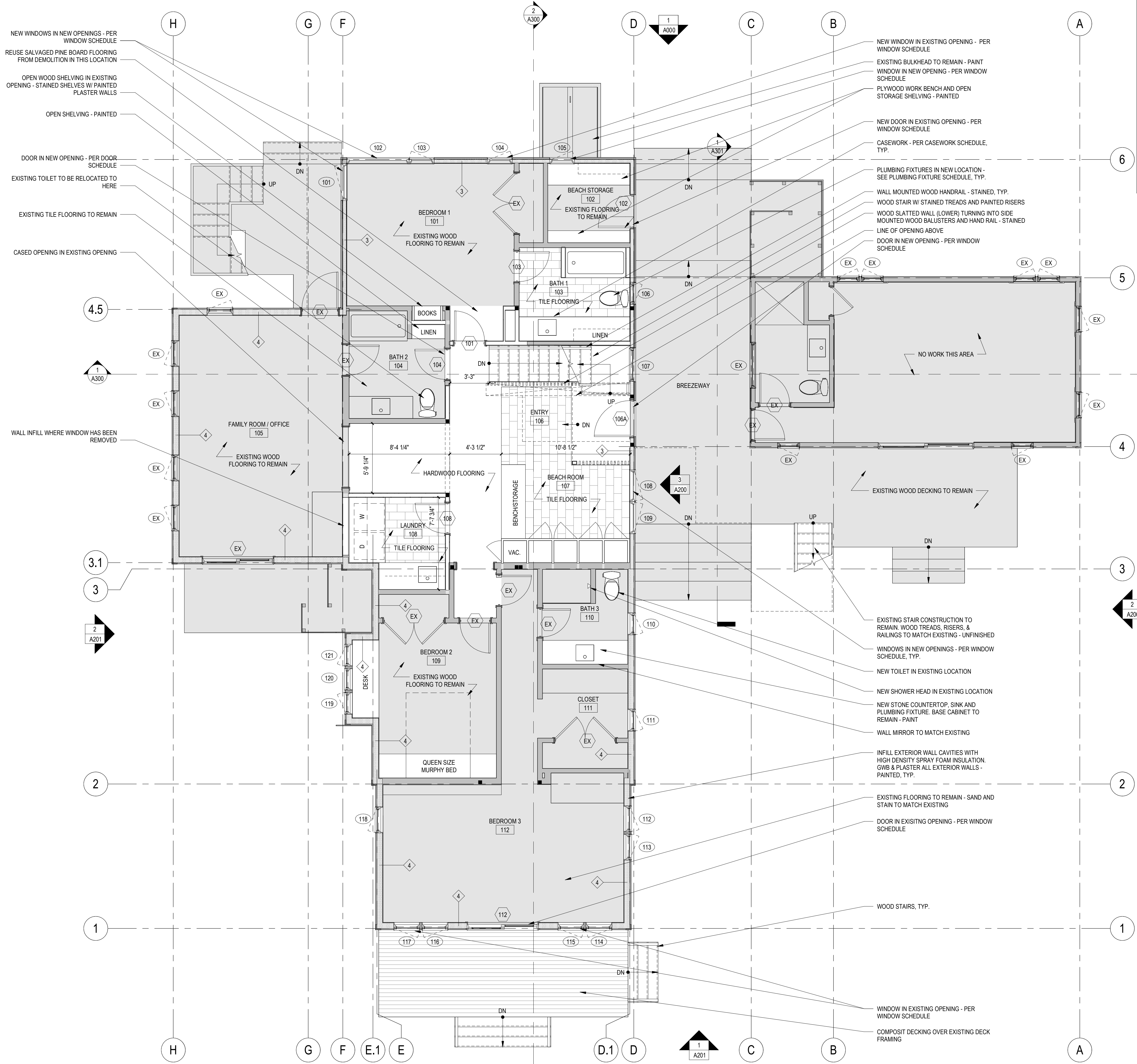
A100

GENERAL FLOOR PLAN NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW EXISTING AND PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS AND EXISTING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
- AS-BUILT DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ORDERING OR FABRICATING.
- GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
- EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
- INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
- PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
- SEE DOOR SCHEDULE FOR DOOR INFORMATION.
- SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.
- SEE FINISH SCHEDULE FOR FINISH INFORMATION.
- ALL EXTERIOR WALL CAVITIES, RIM JOISTS, AND RAFTER CAVITIES TO BE REMEDIATED FOR MOLD AND MILDEW AND FILLED WITH FULL DEPTH HIGH DENSITY SPRAY FOAM INSULATION.

WALL KEY

- EXISTING TO REMAIN
- NEW INTERIOR PARTITION
- NEW INSULATED INTERIOR FURRING WALL
- NEW EXTERIOR WALL
- NEW CONCRETE FOUNDATION WALL



Smith Lane Residence

P23001

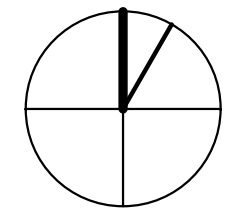
4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED:
SHEET INFO:
FIRST FLOOR PLAN

A101

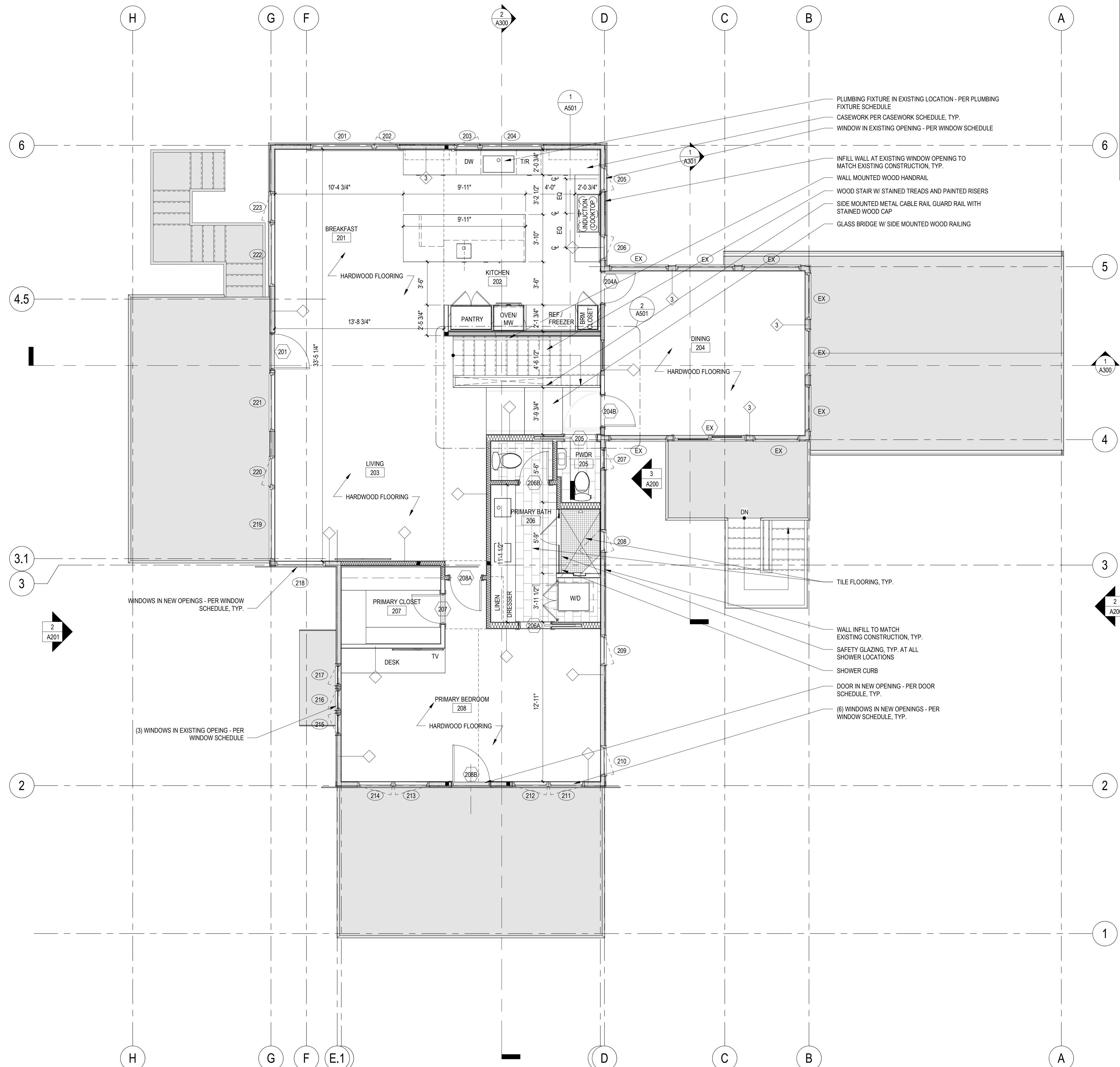


GENERAL FLOOR PLAN NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW EXISTING AND PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS SHOWN CAN BE ACHIEVED. DISCREPANCIES BETWEEN PROPOSED ALIGNMENTS AND LOCATIONS AND EXISTING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK.
- AS-BUILT DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ORDERING OR FABRICATING.
- GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
- EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
- INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
- PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
- SEE DOOR SCHEDULE FOR DOOR INFORMATION.
- SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.
- SEE FINISH SCHEDULE FOR FINISH INFORMATION.
- ALL EXTERIOR WALL CAVITIES, RIM JOISTS, AND RAFTER CAVITIES TO BE REMEDIATED FOR MOLD AND MILDEW AND FILLED WITH FULL DEPTH HIGH DENSITY SPRAY FOAM INSULATION.

WALL KEY

- EXISTING TO REMAIN
- NEW INTERIOR PARTITION
- NEW INSULATED INTERIOR FURRING WALL
- NEW EXTERIOR WALL
- NEW CONCRETE FOUNDATION WALL



- PLUMBING FIXTURE IN EXISTING LOCATION - PER PLUMBING FIXTURE SCHEDULE
- CASEWORK PER CASEWORK SCHEDULE, TYP.
- WINDOW IN EXISTING OPENING - PER WINDOW SCHEDULE
- INFILL WALL AT EXISTING WINDOW OPENING TO MATCH EXISTING CONSTRUCTION, TYP.
- WALL MOUNTED WOOD HANDRAIL
- WOOD STAIR W/ STAINED TREADS AND PAINTED RISERS
- SIDE MOUNTED METAL CABLE RAIL GUARD RAIL WITH STAINED WOOD CAP
- GLASS BRIDGE W/ SIDE MOUNTED WOOD RAILING

- TILE FLOORING, TYP.
- WALL INFILL TO MATCH EXISTING CONSTRUCTION, TYP.
- SAFETY GLAZING, TYP. AT ALL SHOWER LOCATIONS
- SHOWER CURB
- DOOR IN NEW OPENING - PER DOOR SCHEDULE, TYP.
- (6) WINDOWS IN NEW OPENINGS - PER WINDOW SCHEDULE, TYP.

Smith Lane Residence

P23001

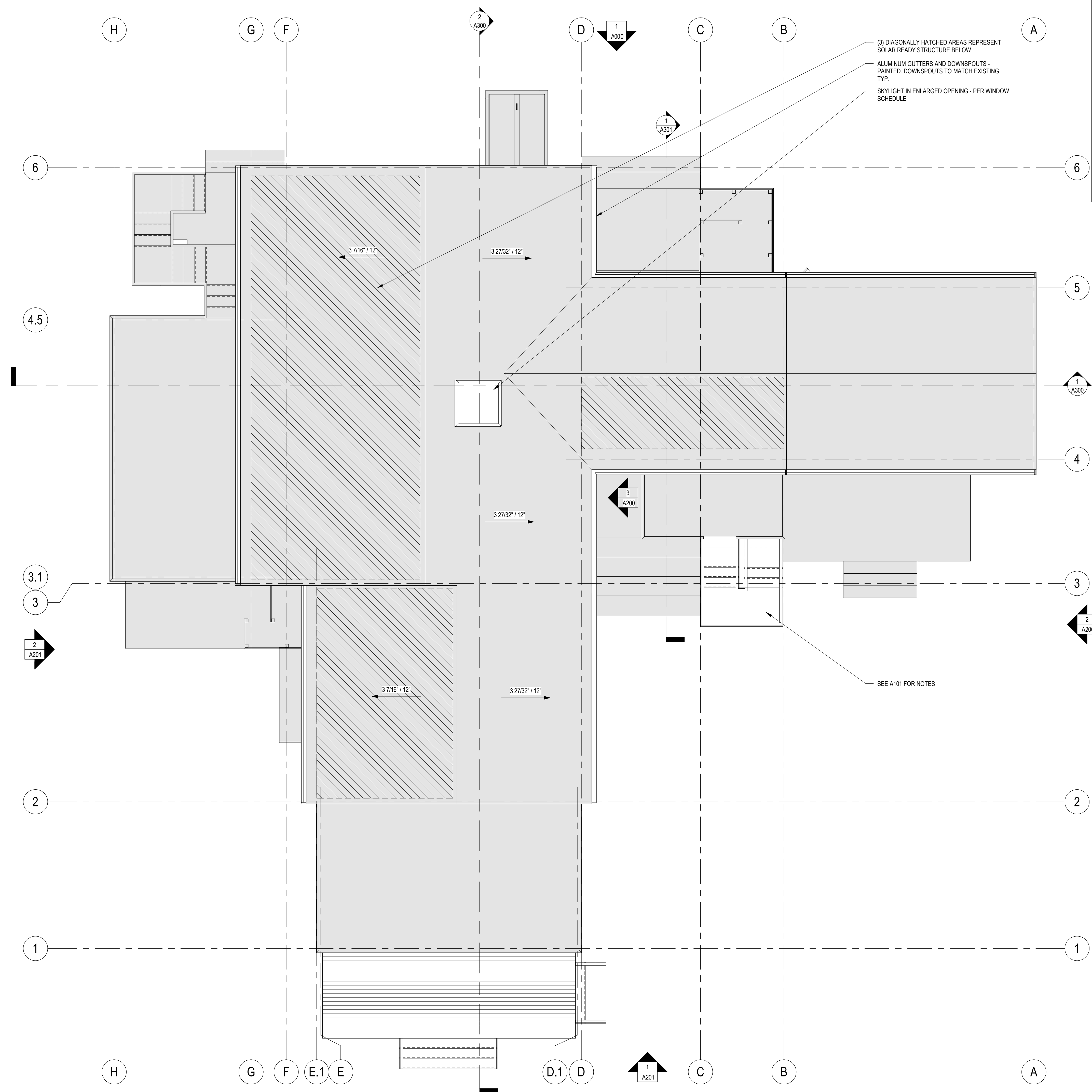
4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED:
SHEET INFO:
SECOND FLOOR PLAN

A102



- ### GENERAL FLOOR PLAN NOTES
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW EXISTING AND PROPOSED DIMENSIONS AND ALIGNMENTS AND CONFIRM LOCATIONS AND ALIGNMENTS AND LOCATIONS AND EXISTING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF THE WORK. AS-BUILT DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION OF CASEWORK, FIXTURES, FURNISHINGS AND EQUIPMENT TO CONFIRM FIT AND LOCATIONS AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO ORDERING OR FABRICATING.
 - GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
 - EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
 - INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL BOARD FINISH, FINISH EDGE, FINISH OPENING, CENTERLINE OF OPENING AND CENTERLINE OF FIXTURES OR AS NOTED.
 - PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE. SEE DOOR SCHEDULE FOR DOOR INFORMATION.
 - SEE WINDOW SCHEDULE FOR WINDOW INFORMATION.
 - SEE FINISH SCHEDULE FOR FINISH INFORMATION.
 - ALL EXTERIOR WALL CAVITIES, RIM JOISTS, AND RAFTER CAVITIES TO BE REMEDIATED FOR MOLD AND MILDEW AND FILLED WITH FULL DEPTH HIGH DENSITY SPRAY FOAM INSULATION.

Smith Lane Residence
 P23001
 4 Smith Lane, Chilmark, MA

ISSUANCE:
 ISSUED FOR PERMIT & CONSTRUCTION

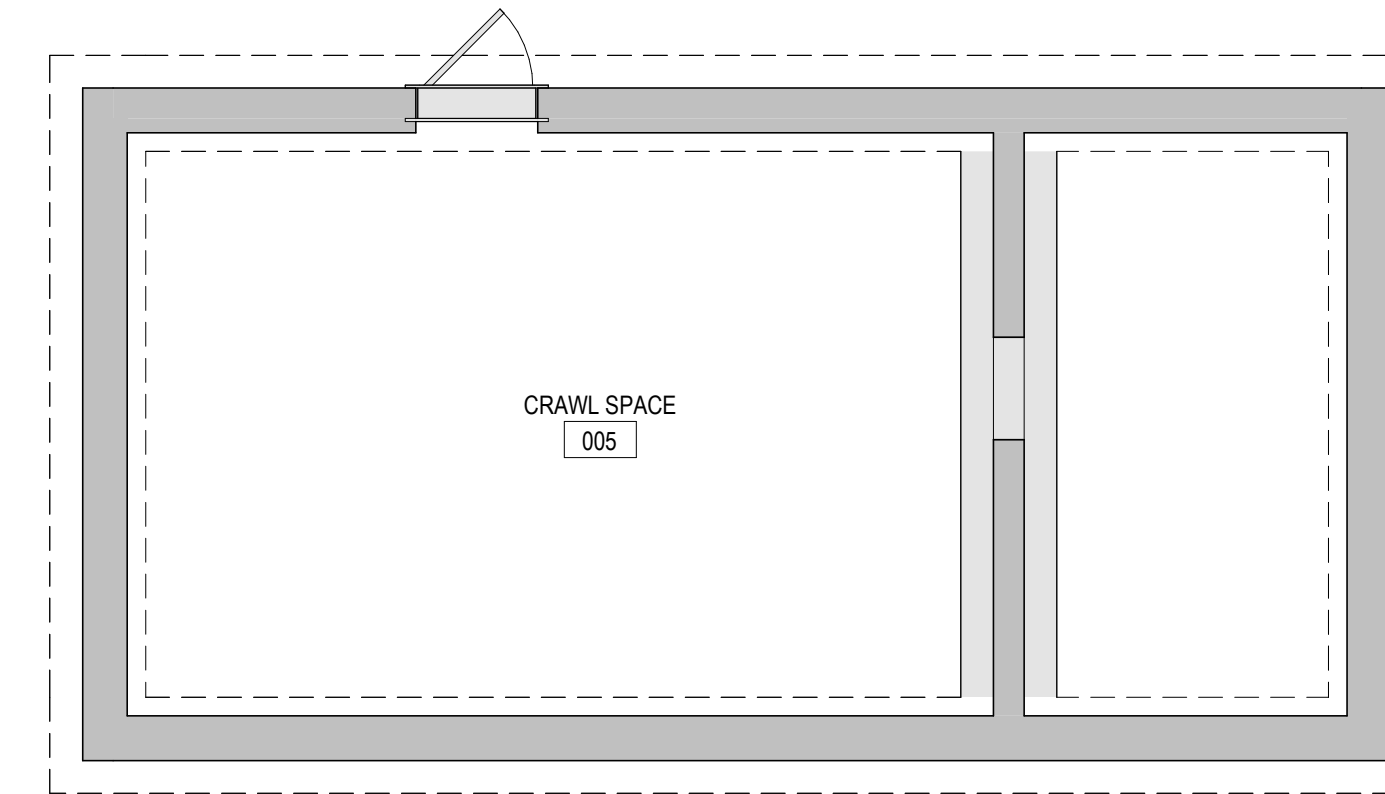
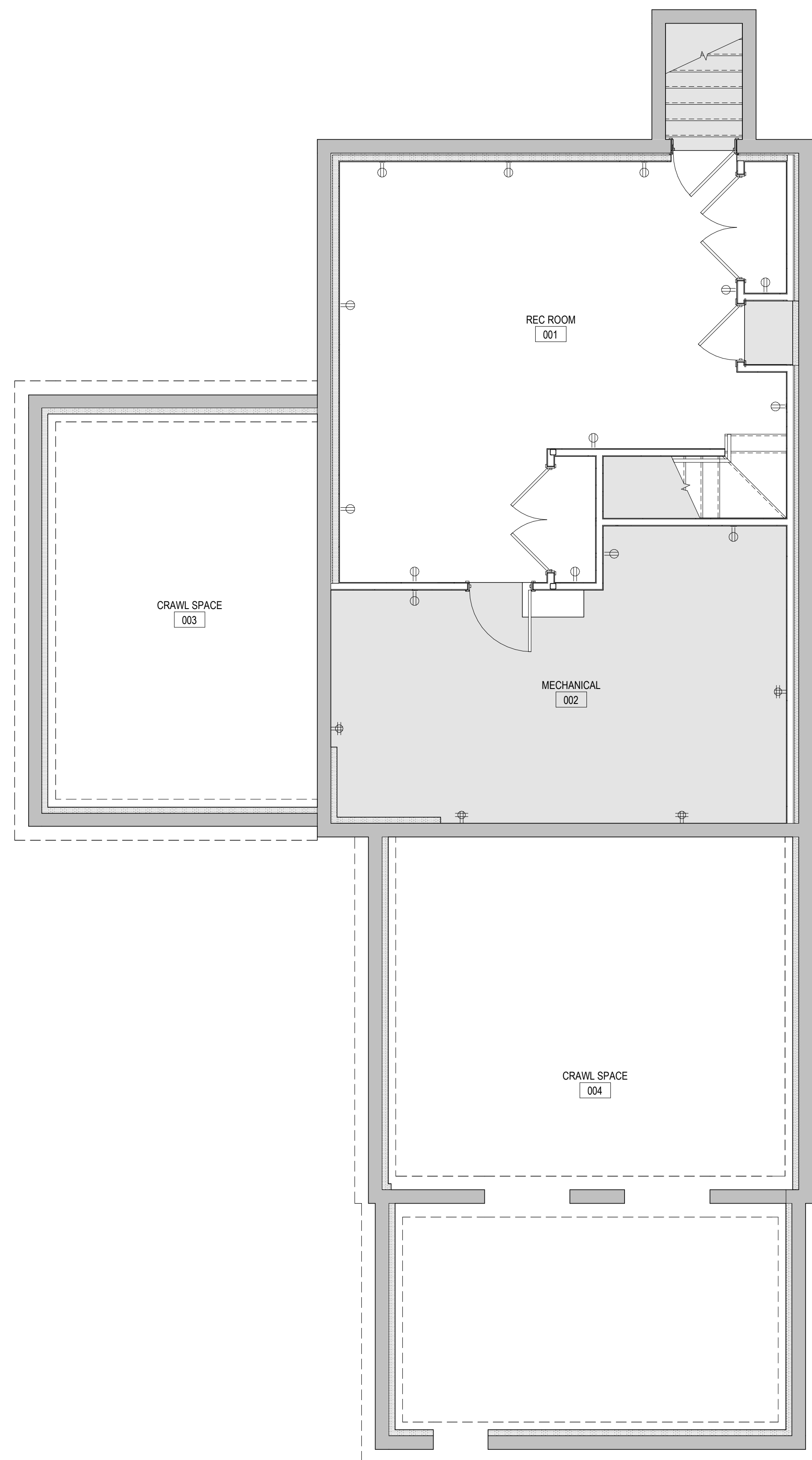
REVISION:

DATE: 8-14-2023
 SCALE: 1/4" = 1'-0"
 DRAWN: SRW
 CHECKED:
 SHEET INFO: ROOF PLAN

A103

GENERAL ELECTRICAL NOTES

1. SEE INTERIOR ELEVATIONS, SHEETS AXXX THROUGH AXXX FOR WALL MOUNTED FIXTURE AND DEVICE LOCATIONS.
2. COORDINATE WITH FRAMING AND ADJUST FRAMING & ADD FRAMING MEMBERS AS NECESSARY TO ACCOMMODATE LIGHT FIXTURES AND DEVICES IN THE POSITIONS SHOWN. DO NOT EXCEED FRAMING SPACING SHOWN ON FRAMING PLANS.
3. LIGHT FIXTURES ARE TO BE CENTERED IN ROOMS UNLESS DIMENSIONED OTHERWISE.
4. TRANSFORMER LOCATIONS ARE FOR REFERENCE AND DO NOT INDICATE ACTUAL PROPOSED LOCATIONS. FINAL TRANSFORMER LOCATIONS ARE TO BE APPROVED BY THE ARCHITECT.
5. PROVIDE INTERIOR AND EXTERIOR POWER OUTLETS QUANTITY, TYPE AND LOCATION AS REQUIRED BY THE APPLICABLE ELECTRICAL CODE AND AS APPROVED BY THE ARCHITECT.
6. DEVICES SHOWN IN THE SAME LOCATION ARE TO BE ALIGNED ON A VERTICAL CENTERLINE.
7. CENTER OUTLETS AS INDICATED ON PLANS, CONFIRM WITH ARCHITECT IF LOCATION IS UNCLEAR.
8. OUTLETS ARE TO BE MOUNTED @ 16" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE. AT COUNTERTOPS OUTLETS ARE TO BE MOUNTED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
9. SWITCHES ARE TO BE MOUNTED @ 48" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE.
10. PROVIDE 24" WHIP AT WALL MOUNTED SCENCE LOCATIONS FOR FIELD POSITIONING.
11. PROVIDE 36" WHIP AT FLOOR OUTLETS FOR FIELD POSITIONING.
12. VERIFY REQUIREMENTS FOR APPLIANCE OUTLETS.
13. PROVIDE CO AND SMOKE DETECTORS PER CODE.
14. LAYOUT ALL WALL LIGHTING LOCATION AND SIZES FOR ARCHITECT REVIEW.



ELECTRICAL KEY

⊕ R1	LOW VOLTAGE LED RECESSED DOWNLIGHT, SEE SPECIFICATIONS	□ SF	SURFACE MOUNTED LIGHT, SEE SPECIFICATIONS	Ⓢ	LIGHT FIXTURE SWITCH
⊕ R2	LOW VOLTAGE WET LOCATION RECESSED DOWNLIGHT, SEE SPECIFICATIONS	○ SD	SMOKE/CO DETECTOR	Ⓢ ³	3-WAY LIGHT FIXTURE SWITCH
⊕ R3	LOW VOLTAGE ADJUSTABLE RECESSED DOWNLIGHT, SEE SPECIFICATIONS	○ HD	HEAT DETECTOR	Ⓢ ^D	DIMMER LIGHT FIXTURE SWITCH
⊕ P	PENDANT LIGHT, SEE SPECIFICATIONS	□ XF	EXHAUST FAN	⊕	DUPLEX OUTLET
⊕ SM	SURFACE MOUNTED LIGHT, SEE SPECIFICATIONS	⊕ FL	FLOOD LIGHT	⊕ ⁴	QUAD OUTLET
— UC	UNDERCABINET LIGHT, SEE SPECIFICATIONS	— PM	PLUG MOULD	⊕ WP	WET PROTECTED DUPLEX OUTLET
⊕ SC	SURFACE MOUNTED SCENCE, SEE SPECIFICATIONS	—	CIRCUIT WIRING	⊕ GFCI	GROUND FAULT CIRCUIT DUPLEX OUTLET
⊕ U	UTILITY LIGHT, SEE SPECIFICATIONS			∇	STRUCTURED CABLE DESTINATION
				⊕ F	FLOOR DUPLEX OUTLET

Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

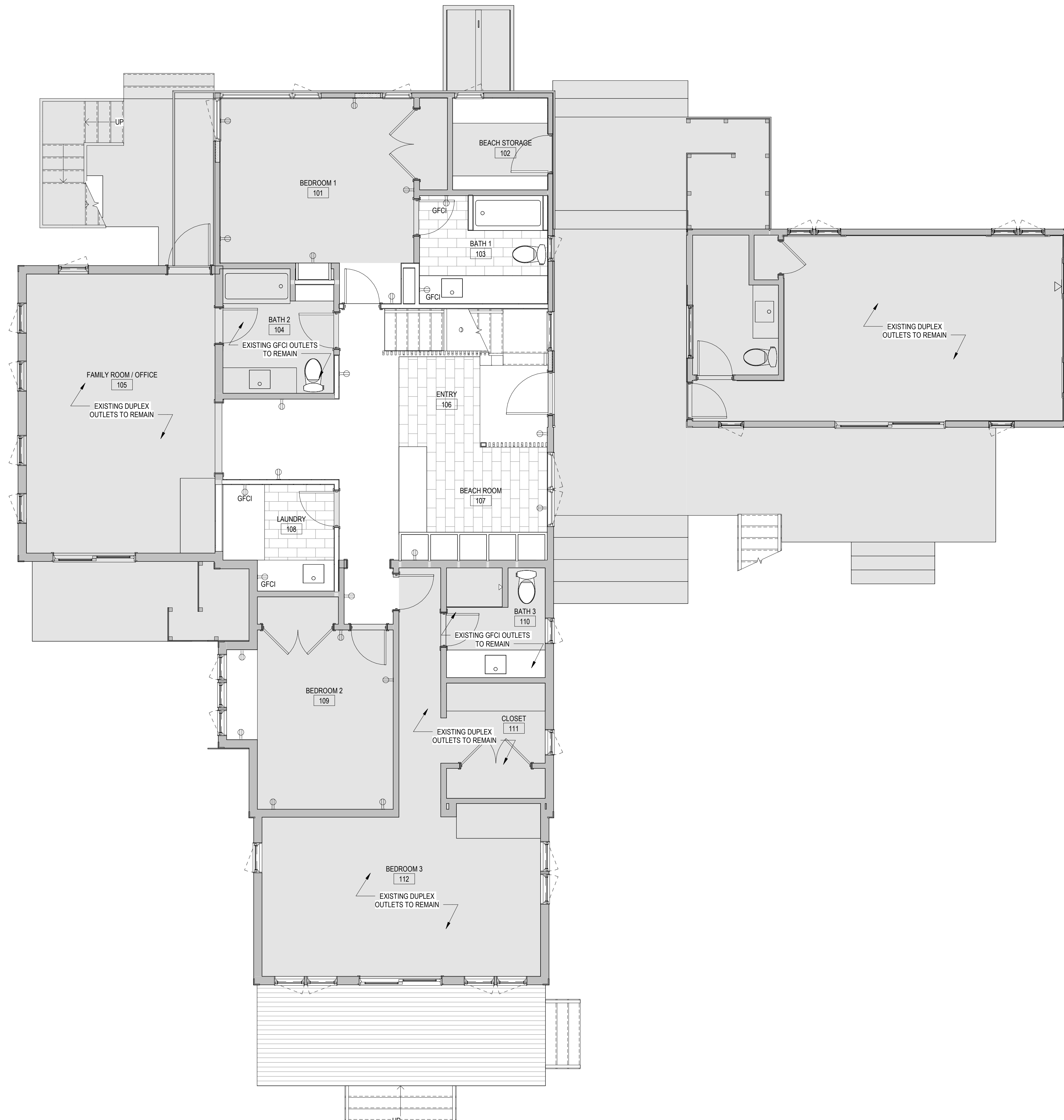
DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED:

SHEET INFO:
BASEMENT POWER/DATA PLAN

A120

GENERAL ELECTRICAL NOTES

1. SEE INTERIOR ELEVATIONS, SHEETS AXXX THROUGH AXXX FOR WALL MOUNTED FIXTURE AND DEVICE LOCATIONS.
2. COORDINATE WITH FRAMING AND ADJUST FRAMING & ADD FRAMING MEMBERS AS NECESSARY TO ACCOMMODATE LIGHT FIXTURES AND DEVICES IN THE POSITIONS SHOWN. DO NOT EXCEED FRAMING SPACING SHOWN ON FRAMING PLANS.
3. LIGHT FIXTURES ARE TO BE CENTERED IN ROOMS UNLESS DIMENSIONED OTHERWISE.
4. TRANSFORMER LOCATIONS ARE FOR REFERENCE AND DO NOT INDICATE ACTUAL PROPOSED LOCATIONS. FINAL TRANSFORMER LOCATIONS ARE TO BE APPROVED BY THE ARCHITECT.
5. PROVIDE INTERIOR AND EXTERIOR POWER OUTLETS QUANTITY, TYPE AND LOCATION AS REQUIRED BY THE APPLICABLE ELECTRICAL CODE AND AS APPROVED BY THE ARCHITECT.
6. DEVICES SHOWN IN THE SAME LOCATION ARE TO BE ALIGNED ON A VERTICAL CENTERLINE.
7. CENTER OUTLETS AS INDICATED ON PLANS, CONFIRM WITH ARCHITECT IF LOCATION IS UNCLEAR.
8. OUTLETS ARE TO BE MOUNTED @ 16" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE. AT COUNTERTOPS OUTLETS ARE TO BE MOUNTED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
9. SWITCHES ARE TO BE MOUNTED @ 48" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE.
10. PROVIDE 24" WHIP AT WALL MOUNTED SCENE LOCATIONS FOR FIELD POSITIONING.
11. PROVIDE 36" WHIP AT FLOOR OUTLETS FOR FIELD POSITIONING.
12. VERIFY REQUIREMENTS FOR APPLIANCE OUTLETS.
13. PROVIDE CO AND SMOKE DETECTORS PER CODE.
14. LAYOUT ALL WALL LIGHTING LOCATION AND SIZES FOR ARCHITECT REVIEW.



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED:

SHEET INFO:
FIRST FLOOR POWER/DATA PLAN

A121



GENERAL ELECTRICAL NOTES

1. SEE INTERIOR ELEVATIONS, SHEETS AXXX THROUGH AXXX FOR WALL MOUNTED FIXTURE AND DEVICE LOCATIONS.
2. COORDINATE WITH FRAMING AND ADJUST FRAMING & ADD FRAMING MEMBERS AS NECESSARY TO ACCOMMODATE LIGHT FIXTURES AND DEVICES IN THE POSITIONS SHOWN. DO NOT EXCEED FRAMING SPACING SHOWN ON FRAMING PLANS.
3. LIGHT FIXTURES ARE TO BE CENTERED IN ROOMS UNLESS DIMENSIONED OTHERWISE.
4. TRANSFORMER LOCATIONS ARE FOR REFERENCE AND DO NOT INDICATE ACTUAL PROPOSED LOCATIONS. FINAL TRANSFORMER LOCATIONS ARE TO BE APPROVED BY THE ARCHITECT.
5. PROVIDE INTERIOR AND EXTERIOR POWER OUTLETS QUANTITY, TYPE AND LOCATION AS REQUIRED BY THE APPLICABLE ELECTRICAL CODE AND AS APPROVED BY THE ARCHITECT.
6. DEVICES SHOWN IN THE SAME LOCATION ARE TO BE ALIGNED ON A VERTICAL CENTERLINE.
7. CENTER OUTLETS AS INDICATED ON PLANS, CONFIRM WITH ARCHITECT IF LOCATION IS UNCLEAR.
8. OUTLETS ARE TO BE MOUNTED @ 16" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE. AT COUNTERTOPS OUTLETS ARE TO BE MOUNTED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
9. SWITCHES ARE TO BE MOUNTED @ 48" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE.
10. PROVIDE 24" WHIP AT WALL MOUNTED SCENE LOCATIONS FOR FIELD POSITIONING.
11. PROVIDE 36" WHIP AT FLOOR OUTLETS FOR FIELD POSITIONING.
12. VERIFY REQUIREMENTS FOR APPLIANCE OUTLETS.
13. PROVIDE CO AND SMOKE DETECTORS PER CODE.
14. LAYOUT ALL WALL LIGHTING LOCATION AND SIZES FOR ARCHITECT REVIEW.

Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED:

SHEET INFO:
SECOND FLOOR POWER/DATA PLAN

A122

GENERAL ELECTRICAL NOTES

1. SEE INTERIOR ELEVATIONS, SHEETS AXXX THROUGH AXXX FOR WALL MOUNTED FIXTURE AND DEVICE LOCATIONS.
2. COORDINATE WITH FRAMING AND ADJUST FRAMING & ADD FRAMING MEMBERS AS NECESSARY TO ACCOMMODATE LIGHT FIXTURES AND DEVICES IN THE POSITIONS SHOWN. DO NOT EXCEED FRAMING SPACING SHOWN ON FRAMING PLANS.
3. LIGHT FIXTURES ARE TO BE CENTERED IN ROOMS UNLESS DIMENSIONED OTHERWISE.
4. TRANSFORMER LOCATIONS ARE FOR REFERENCE AND DO NOT INDICATE ACTUAL PROPOSED LOCATIONS. FINAL TRANSFORMER LOCATIONS ARE TO BE APPROVED BY THE ARCHITECT.
5. PROVIDE INTERIOR AND EXTERIOR POWER OUTLETS QUANTITY, TYPE AND LOCATION AS REQUIRED BY THE APPLICABLE ELECTRICAL CODE AND AS APPROVED BY THE ARCHITECT.
6. DEVICES SHOWN IN THE SAME LOCATION ARE TO BE ALIGNED ON A VERTICAL CENTERLINE.
7. CENTER OUTLETS AS INDICATED ON PLANS, CONFIRM WITH ARCHITECT IF LOCATION IS UNCLEAR.
8. OUTLETS ARE TO BE MOUNTED @ 16" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE. AT COUNTERTOPS OUTLETS ARE TO BE MOUNTED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
9. SWITCHES ARE TO BE MOUNTED @ 48" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE.
10. PROVIDE 24" WHIP AT WALL MOUNTED SCOFFCE LOCATIONS FOR FIELD POSITIONING.
11. PROVIDE 36" WHIP AT FLOOR OUTLETS FOR FIELD POSITIONING.
12. VERIFY REQUIREMENTS FOR APPLIANCE OUTLETS.
13. PROVIDE CO AND SMOKE DETECTORS PER CODE.
14. LAYOUT ALL WALL LIGHTING LOCATION AND SIZES FOR ARCHITECT REVIEW.



ELECTRICAL KEY

⊕ R1	LOW VOLTAGE LED RECESSED DOWNLIGHT, SEE SPECIFICATIONS	☐ SF	SURFACE MOUNTED LIGHT, SEE SPECIFICATIONS	Ⓢ	LIGHT FIXTURE SWITCH
⊕ R2	LOW VOLTAGE WET LOCATION RECESSED DOWNLIGHT, SEE SPECIFICATIONS	○ SD	SMOKE/CO DETECTOR	Ⓢ ³	3-WAY LIGHT FIXTURE SWITCH
⊕ R3	LOW VOLTAGE ADJUSTABLE RECESSED DOWNLIGHT, SEE SPECIFICATIONS	○ HD	HEAT DETECTOR	Ⓢ ^D	DIMMER LIGHT FIXTURE SWITCH
⊕ P	PENDANT LIGHT, SEE SPECIFICATIONS	☐ XF	EXHAUST FAN	Φ	DUPLEX OUTLET
⊕ SM	SURFACE MOUNTED LIGHT, SEE SPECIFICATIONS	☐ FL	FLOOD LIGHT	Φ ⁴	QUAD OUTLET
— UC	UNDERCABINET LIGHT, SEE SPECIFICATIONS	— PM	PLUG MOULD	Φ ^{WP}	WET PROTECTED DUPLEX OUTLET
⊕ SC	SURFACE MOUNTED SCOFFCE, SEE SPECIFICATIONS	— C	CIRCUIT WIRING	Φ ^{GFCI}	GROUND FAULT CIRCUIT DUPLEX OUTLET
⊕ U	UTILITY LIGHT, SEE SPECIFICATIONS			∇	STRUCTURED CABLE DESTINATION
				Φ ^F	FLOOR DUPLEX OUTLET

Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023

SCALE: 1/4" = 1'-0"

DRAWN: SRW

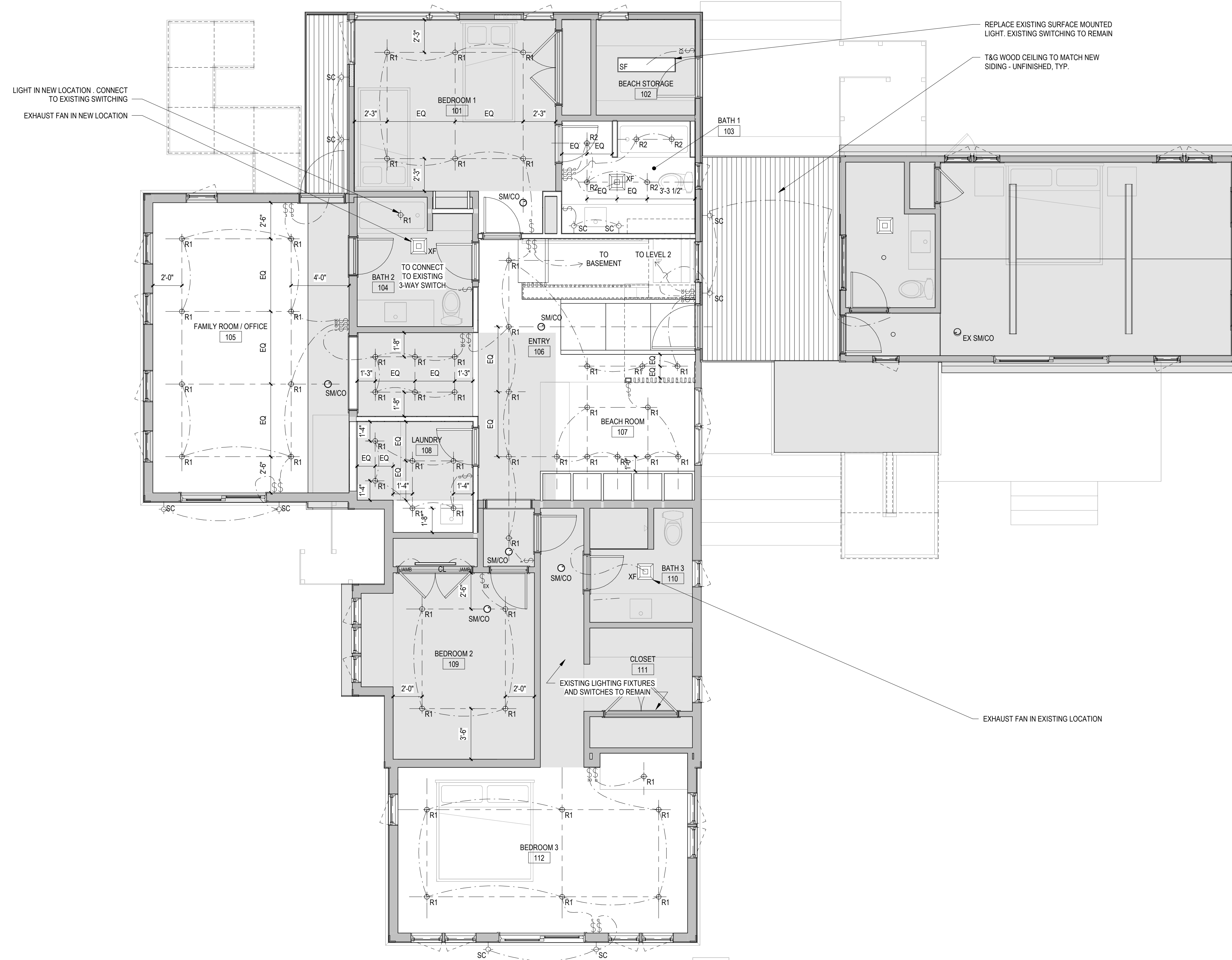
CHECKED:

SHEET INFO:
BASEMENT REFLECTED CEILING PLAN

A130

GENERAL ELECTRICAL NOTES

1. SEE INTERIOR ELEVATIONS, SHEETS AXXX THROUGH AXXX FOR WALL MOUNTED FIXTURE AND DEVICE LOCATIONS.
2. COORDINATE WITH FRAMING AND ADJUST FRAMING & ADD FRAMING MEMBERS AS NECESSARY TO ACCOMMODATE LIGHT FIXTURES AND DEVICES IN THE POSITIONS SHOWN. DO NOT EXCEED FRAMING SPACING SHOWN ON FRAMING PLANS.
3. LIGHT FIXTURES ARE TO BE CENTERED IN ROOMS UNLESS DIMENSIONED OTHERWISE.
4. TRANSFORMER LOCATIONS ARE FOR REFERENCE AND DO NOT INDICATE ACTUAL PROPOSED LOCATIONS. FINAL TRANSFORMER LOCATIONS ARE TO BE APPROVED BY THE ARCHITECT.
5. PROVIDE INTERIOR AND EXTERIOR POWER OUTLETS QUANTITY, TYPE AND LOCATION AS REQUIRED BY THE APPLICABLE ELECTRICAL CODE AND AS APPROVED BY THE ARCHITECT.
6. DEVICES SHOWN IN THE SAME LOCATION ARE TO BE ALIGNED ON A VERTICAL CENTERLINE.
7. CENTER OUTLETS AS INDICATED ON PLANS, CONFIRM WITH ARCHITECT IF LOCATION IS UNCLEAR.
8. OUTLETS ARE TO BE MOUNTED @ 16" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE. AT COUNTERTOPS OUTLETS ARE TO BE MOUNTED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
9. SWITCHES ARE TO BE MOUNTED @ 48" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE.
10. PROVIDE 3/4" WHIP AT WALL MOUNTED SCENE LOCATIONS FOR FIELD POSITIONING.
11. PROVIDE 3/8" WHIP AT FLOOR OUTLETS FOR FIELD POSITIONING.
12. VERIFY REQUIREMENTS FOR APPLIANCE OUTLETS.
13. PROVIDE CO AND SMOKE DETECTORS PER CODE.
14. LAYOUT ALL WALL LIGHTING LOCATION AND SIZES FOR ARCHITECT REVIEW.



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023

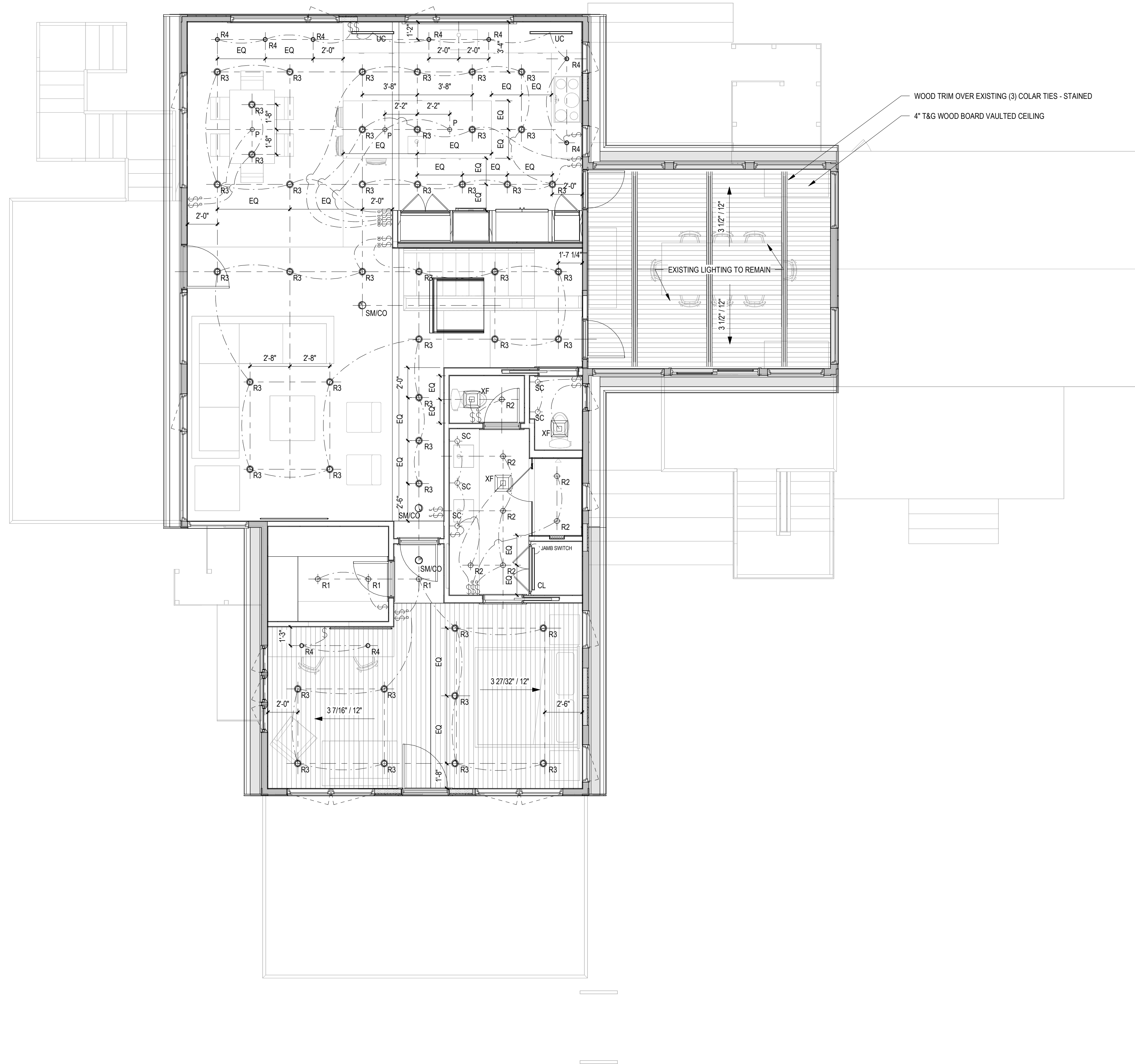
SCALE: 1/4" = 1'-0"

DRAWN: SRW

CHECKED:

SHEET INFO:
FIRST FLOOR REFLECTED CEILING
PLAN

A131



GENERAL ELECTRICAL NOTES

1. SEE INTERIOR ELEVATIONS, SHEETS AXXX THROUGH AXXX FOR WALL MOUNTED FIXTURE AND DEVICE LOCATIONS.
2. COORDINATE WITH FRAMING AND ADJUST FRAMING & ADD FRAMING MEMBERS AS NECESSARY TO ACCOMMODATE LIGHT FIXTURES AND DEVICES IN THE POSITIONS SHOWN. DO NOT EXCEED FRAMING SPACING SHOWN ON FRAMING PLANS.
3. LIGHT FIXTURES ARE TO BE CENTERED IN ROOMS UNLESS DIMENSIONED OTHERWISE.
4. TRANSFORMER LOCATIONS ARE FOR REFERENCE AND DO NOT INDICATE ACTUAL PROPOSED LOCATIONS. FINAL TRANSFORMER LOCATIONS ARE TO BE APPROVED BY THE ARCHITECT.
5. PROVIDE INTERIOR AND EXTERIOR POWER OUTLETS QUANTITY, TYPE AND LOCATION AS REQUIRED BY THE APPLICABLE ELECTRICAL CODE AND AS APPROVED BY THE ARCHITECT.
6. DEVICES SHOWN IN THE SAME LOCATION ARE TO BE ALIGNED ON A VERTICAL CENTERLINE.
7. CENTER OUTLETS AS INDICATED ON PLANS, CONFIRM WITH ARCHITECT IF LOCATION IS UNCLEAR.
8. OUTLETS ARE TO BE MOUNTED @ 16" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE. AT COUNTERTOPS OUTLETS ARE TO BE MOUNTED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
9. SWITCHES ARE TO BE MOUNTED @ 48" A.F.F. TO CENTERLINE UNLESS NOTED OTHERWISE.
10. PROVIDE 3/4" WHIP AT WALL MOUNTED SCENE LOCATIONS FOR FIELD POSITIONING.
11. PROVIDE 36" WHIP AT FLOOR OUTLETS FOR FIELD POSITIONING.
12. VERIFY REQUIREMENTS FOR APPLIANCE OUTLETS.
13. PROVIDE CO AND SMOKE DETECTORS PER CODE.
14. LAYOUT ALL WALL LIGHTING LOCATION AND SIZES FOR ARCHITECT REVIEW.

Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

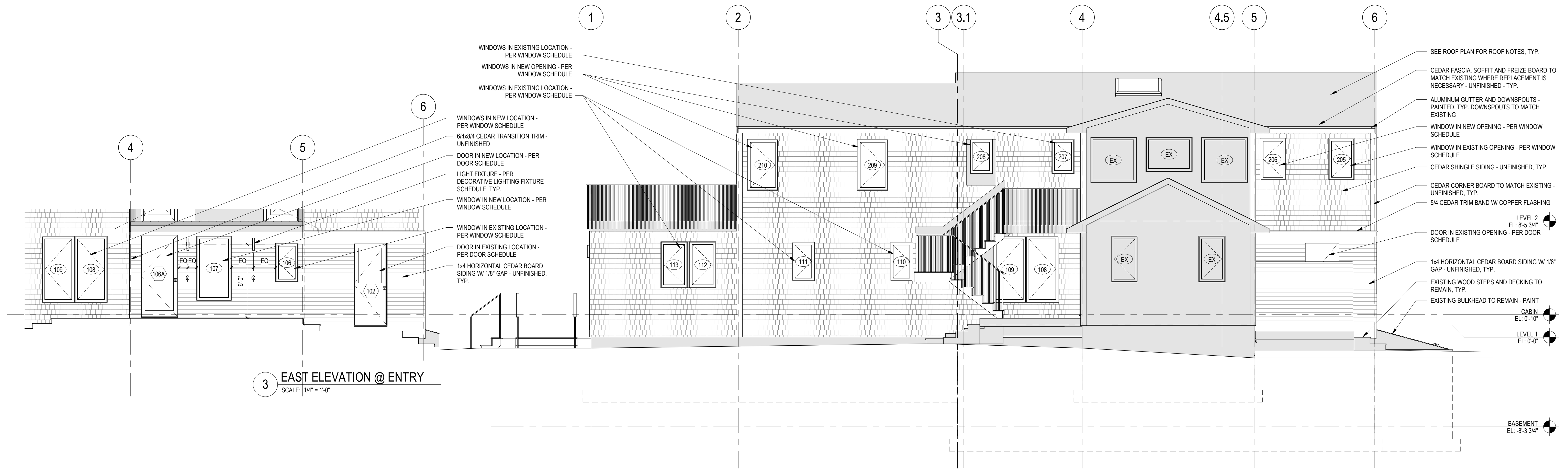
DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED:

SHEET INFO:
SECOND FLOOR REFLECTED CEILING PLAN

A132

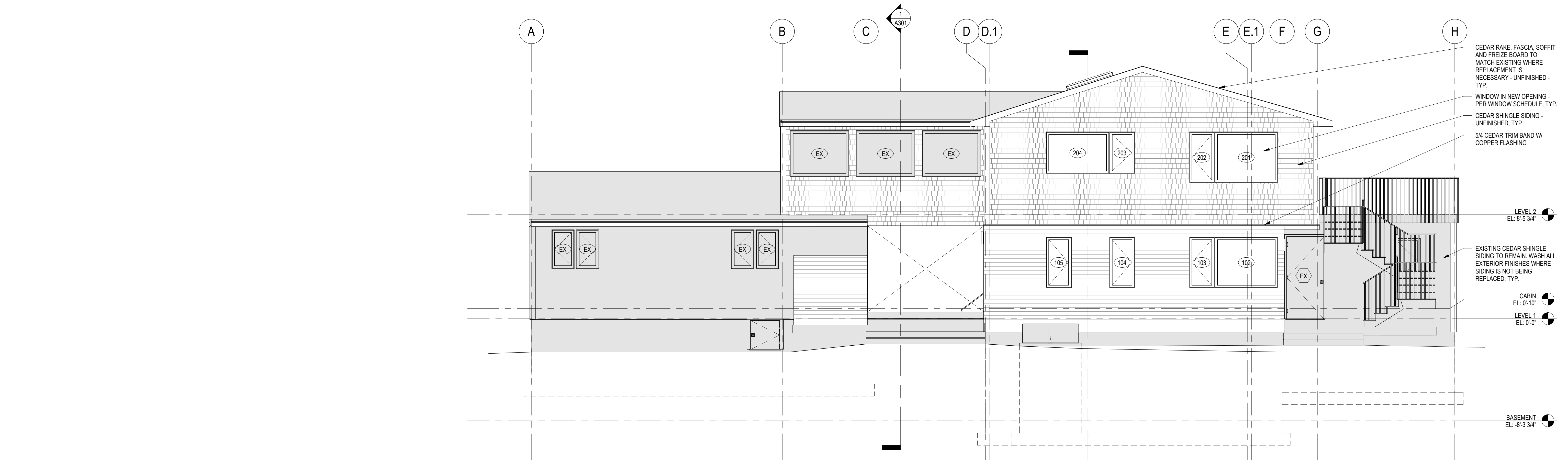
GENERAL ELEVATION NOTES

1. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
2. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
3. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
4. SEE BUILDING SECTIONS FOR HEADER HEIGHT DIMENSIONS.
5. SEE SHEET G101 FOR WINDOW SCHEDULE.



3 EAST ELEVATION @ ENTRY
SCALE: 1/4" = 1'-0"

2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023

SCALE: 1/4" = 1'-0"

DRAWN: SRW

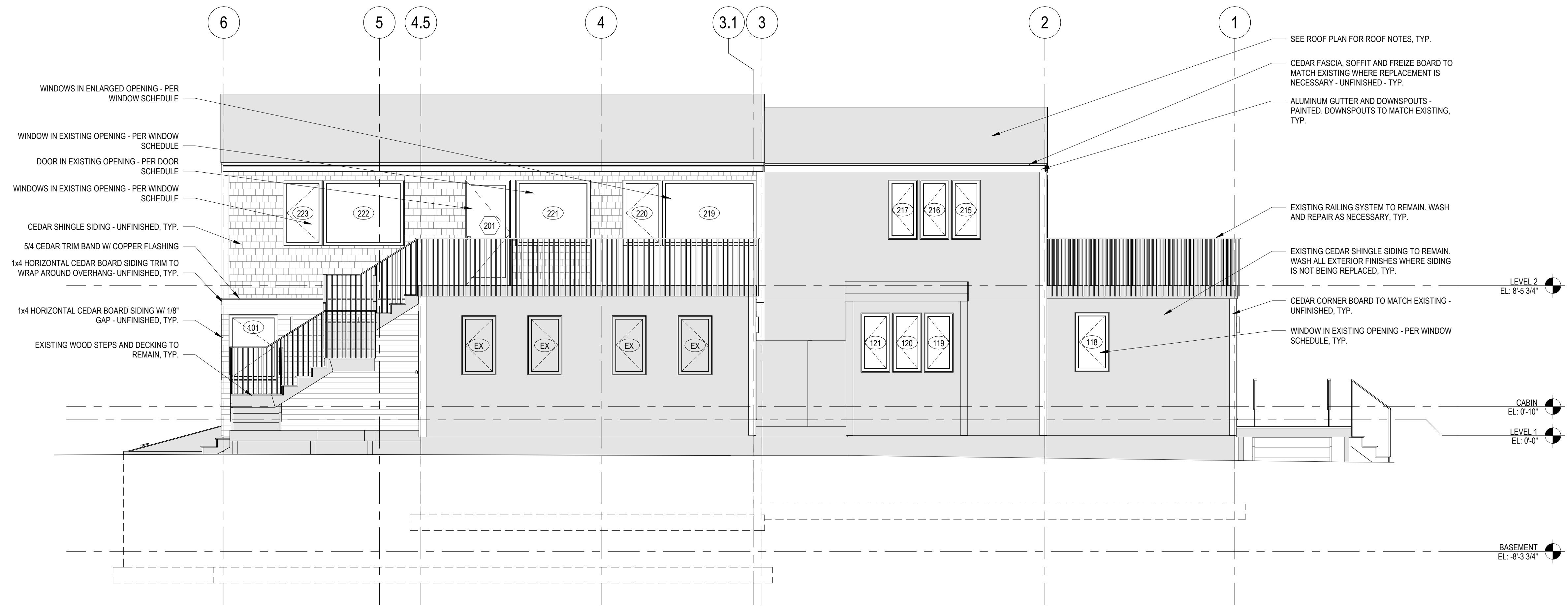
CHECKED:

SHEET INFO:
EXTERIOR ELEVATIONS

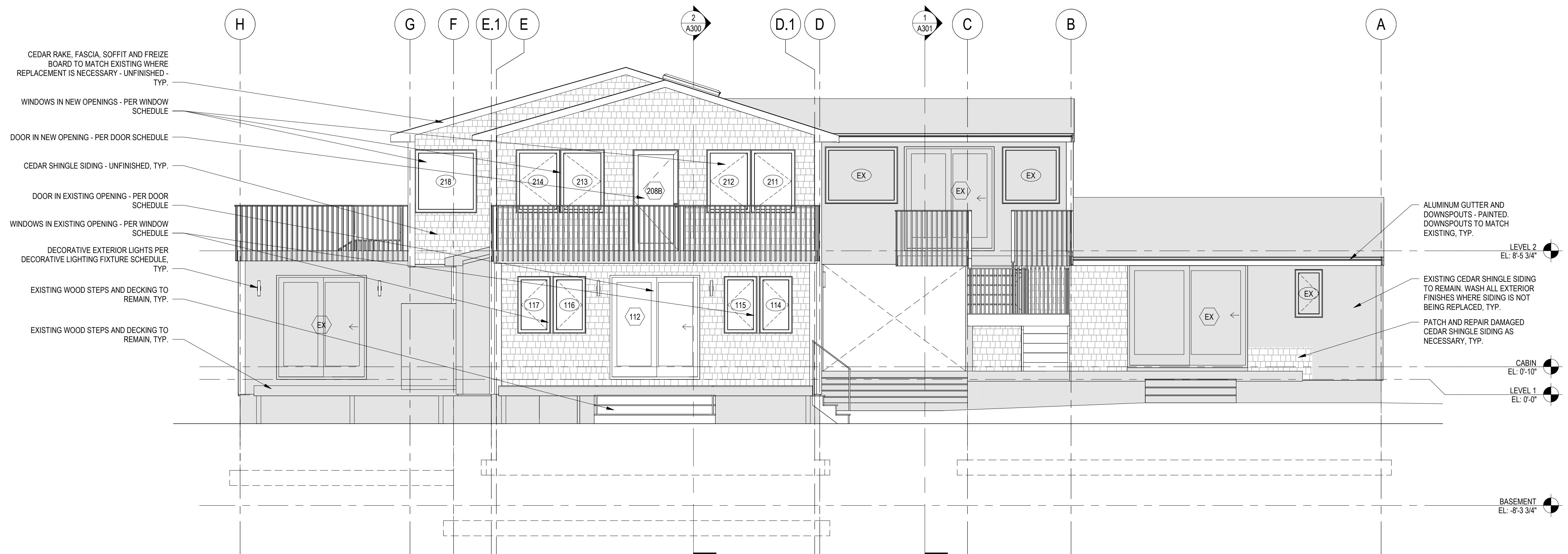
A200

GENERAL ELEVATION NOTES

1. GRID AND GRID DIMENSIONS ARE TO FACE OF FOUNDATION, EXTERIOR FACE OF FRAMING OR AS NOTED.
2. EXTERIOR DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF OPENINGS OR AS NOTED.
3. PROVIDE ROUGH OPENINGS PER WINDOW AND DOOR MANUFACTURER'S RECOMMENDATIONS UNLESS NOTED OR DETAILED OTHERWISE.
4. SEE BUILDING SECTIONS FOR HEADER HEIGHT DIMENSIONS.
5. SEE SHEET G101 FOR WINDOW SCHEDULE.



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023

SCALE: 1/4" = 1'-0"

DRAWN: SRW

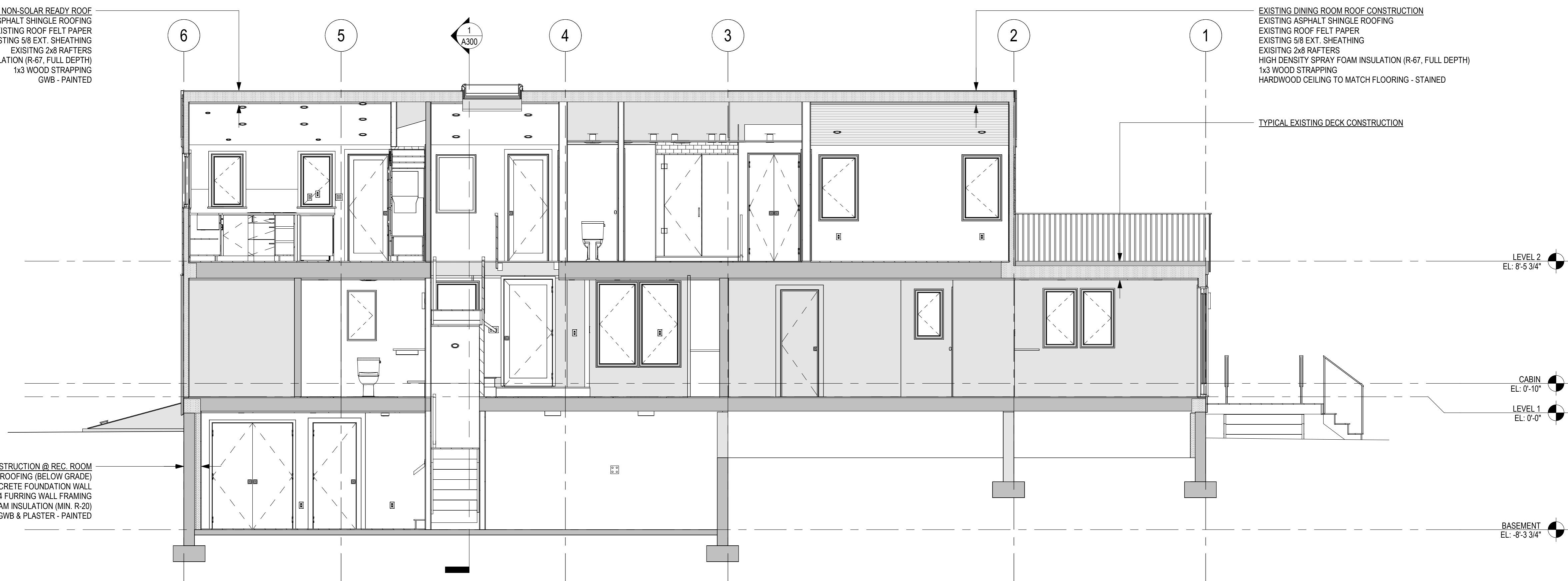
CHECKED:

SHEET INFO:
EXTERIOR ELEVATIONS

A201

ROOF CONSTRUCTION @ MAIN ROOF NON-SOLAR READY ROOF
 EXISTING ASPHALT SHINGLE ROOFING
 EXISTING ROOF FELT PAPER
 EXISTING 5/8 EXT. SHEATHING
 EXISTING 2x8 RAFTERS
 HIGH DENSITY SPRAY FOAM INSULATION (R-67, FULL DEPTH)
 1x3 WOOD STRAPPING
 GWB - PAINTED

EXISTING DINING ROOM ROOF CONSTRUCTION
 EXISTING ASPHALT SHINGLE ROOFING
 EXISTING ROOF FELT PAPER
 EXISTING 5/8 EXT. SHEATHING
 EXISTING 2x8 RAFTERS
 HIGH DENSITY SPRAY FOAM INSULATION (R-67, FULL DEPTH)
 1x3 WOOD STRAPPING
 HARDWOOD CEILING TO MATCH FLOORING - STAINED



2 BUILDING SECTION 2
 SCALE: 1/4" = 1'-0"

ROOF CONSTRUCTION @ LIVING ROOM SOLAR READY ROOF
 EXISTING ASPHALT SHINGLE ROOFING
 EXISTING ROOF FELT PAPER
 EXISTING 5/8 EXT. SHEATHING
 EXISTING 2x8 RAFTERS
 SISTERED 2x10 RAFTERS
 HIGH DENSITY SPRAY FOAM INSULATION (FULL DEPTH)
 1x3 WOOD STRAPPING
 GWB - PAINTED

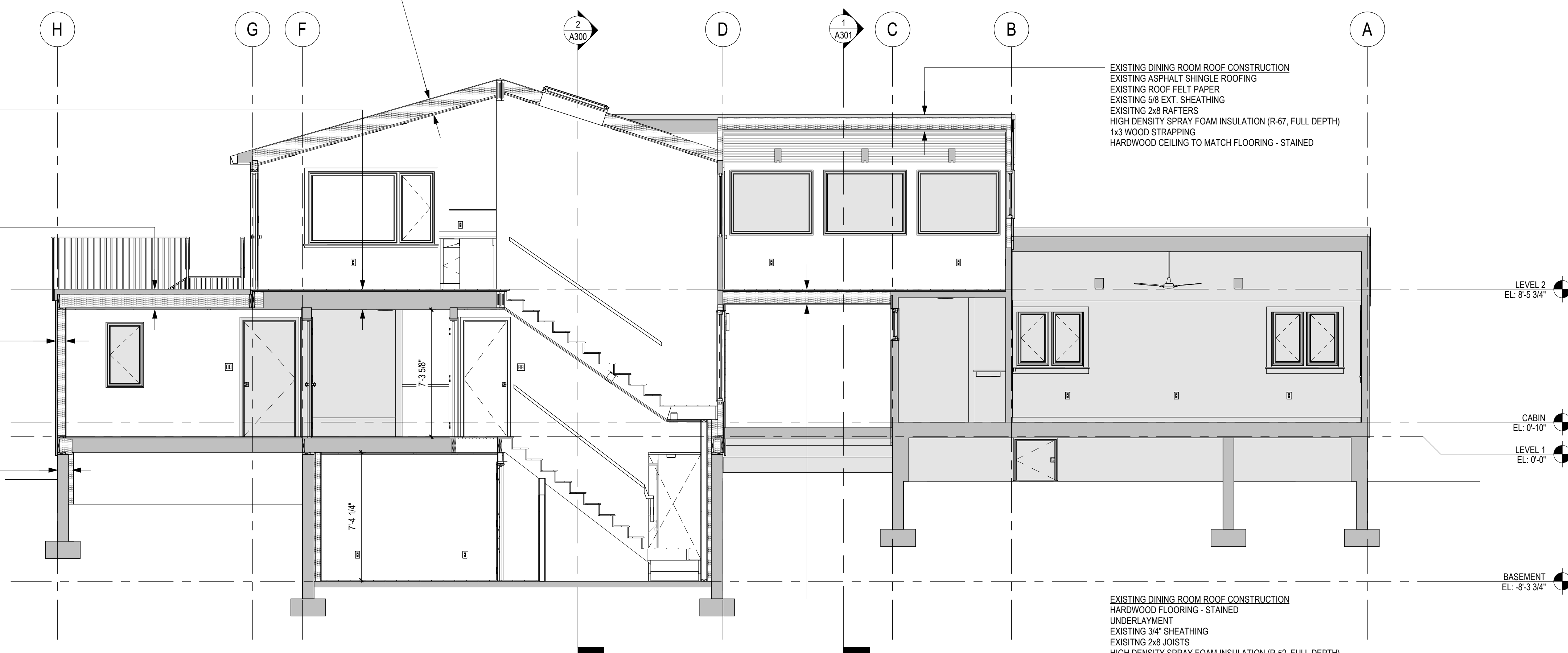
EXISTING DINING ROOM ROOF CONSTRUCTION
 EXISTING ASPHALT SHINGLE ROOFING
 EXISTING ROOF FELT PAPER
 EXISTING 5/8 EXT. SHEATHING
 EXISTING 2x8 RAFTERS
 HIGH DENSITY SPRAY FOAM INSULATION (R-67, FULL DEPTH)
 1x3 WOOD STRAPPING
 HARDWOOD CEILING TO MATCH FLOORING - STAINED

SECOND FLOOR CONSTRUCTION
 HARDWOOD FLOORING - STAINED
 UNDERLAYMENT
 EXISTING 3/4" SHEATHING
 EXISTING 2x12 JOISTS
 SOUND ATTENUATING BATT INSULATION (OVER BEDROOMS ONLY)
 1x3 WOOD STRAPPING
 GWB - PAINTED

TYPICAL EXISTING DECK CONSTRUCTION
 EXISTING COMPOSITE DECKING
 EXISTING 2x TAPERED SLEEPERS
 EXISTING EPDM ROOFING
 EXISTING TAPERED INSULATION
 EXISTING EXT SHEATHING
 EXISTING 2x10 JOISTS
 HIGH DENSITY SPRAY FOAM INSULATION (R-67, FULL DEPTH)
 GWB - PAINTED

EXISTING EXTERIOR WALL CONSTRUCTION
 EXISTING CEDAR SHINGLE SIDING
 EXISTING BUILDING WRAP
 EXISTING 2x WALL FRAMING
 HIGH DENSITY SPRAY FOAM INSULATION (FULL DEPTH)
 GWB - PAINTED

EXISTING CRAWL SPACE FOUNDATION WALL CONSTRUCTION
 EXISTING DAMP PROOFING (BELOW GRADE)
 EXISTING CMU BLOCK FOUNDATION WALL
 HIGH DENSITY SPRAY FOAM INSULATION (MIN. R-20)
 SPRAY APPLIED INTUMESCENT BARRIER



1 BUILDING SECTION 1
 SCALE: 1/4" = 1'-0"

Smith Lane Residence

P23001

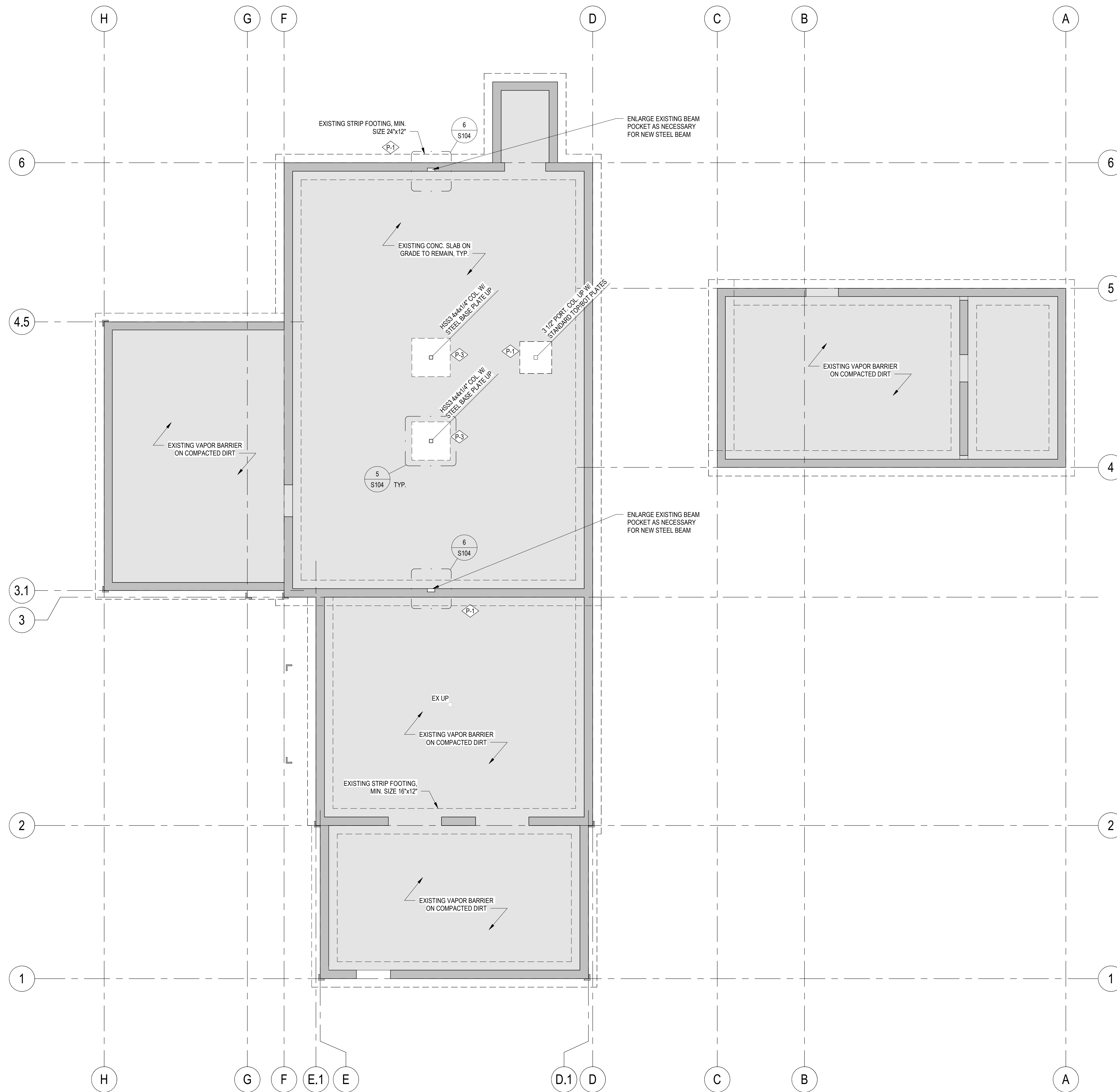
4 Smith Lane, Chilmark, MA

ISSUANCE:
 ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
 SCALE: 1/4" = 1'-0"
 DRAWN: SRW
 CHECKED:
 SHEET INFO:
 BUILDING SECTIONS

A300



(E) FRAMING NOTE
 CONTRACTOR TO FIELD VERIFY THAT ALL EXISTING FRAMING IS IN GENERAL CONFORMANCE WITH THE APPROVED STRUCTURAL DRAWINGS AND SHALL NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES

SPREAD FOOTING SCHEDULE	
SYMBOL	DIMENSIONS & REINFORCEMENTS
	2'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (2)-#4 BARS EA. WAY
	2'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (3)-#4 BARS EA. WAY
	3'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (4)-#4 BARS EA. WAY
	3'-6" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (5)-#4 BARS EA. WAY
	4'-0" SQ. x 1'-0" DEEP SPREAD FOOTING w/ (6)-#4 BARS EA. WAY

REBAR COVER TABLE 20.6.1.3.1 (AS PER ACI)			
CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER, IN.
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	ALL	ALL	3
EXPOSURE TO WEATHER OR IN CONTACT WITH GROUND	ALL	#6 THROUGH #18 REBAR #5 REBAR, W3/D1 WIRE AND SMALLER	2 1-1/2
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS AND WALLS	#14 AND #18 REBAR #11 REBAR AND SMALLER	1-1/2 3/4
	BEAMS, COLUMNS, PEDESTALS AND TENSIONS TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS AND HOOPS	1-1/2

- STRUCTURAL DESIGN CRITERIA**
- BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE (MSBC) & THE INTERNATIONAL RESIDENTIAL CODE EDITION 2015 (IRC)
 - LOADS:

	DEAD	LIVE / SNOW
a. ROOF	15 PSF	25 PSF
b. FLOOR	15 PSF	40 PSF
c. DECK	15 PSF	60 PSF
 - WIND LOADS:
 - BASIC WIND SPEED = 140 MPH - EXPOSURE B AS PER MSBC
 - METAL CONNECTOR CLIPS TO BE PROVIDED & INSTALLED AS PER THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) AS DESCRIBED IN R301.2.1.1 DESIGN CRITERIA
 - MINIMUM DEFLECTIONS OF HORIZONTAL STRUCTURAL MEMBERS:
 - FLOOR MEMBERS L/360
 - ROOF MEMBERS L/240
 - CONCRETE MINIMUM 28-DAY COMPRESSIVE STRENGTH, f'c
 - FOOTINGS 3,000 PSI
 - FOUNDATION WALLS 3,000 PSI
 - SLAB-ON-GRADE 3,000 PSI
 - HONEY-COMBING, SPALLS, CRACKS ETC. SHALL BE REPORTED TO THE STRUCTURAL ENGINEER.
 - STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF SYSTEMS NOT SHOWN IN STRUCTURAL PLANS.
 - MATERIAL, WORKSMANSHIP, AND DESIGN SHALL CONFORM TO THE REFERENCED BUILDING CODES.
 - FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL DOCUMENTS, REFER TO ARCHITECTURAL DOCUMENTS.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
 - THE STRUCTURE IS ONLY STABLE IN ITS COMPLETED FORM. TEMPORARY SHORING & SUPPORT MAY BE REQUIRED DURING INTERMEDIATE STAGES OF CONSTRUCTION.

Smith Lane Residence

P23001

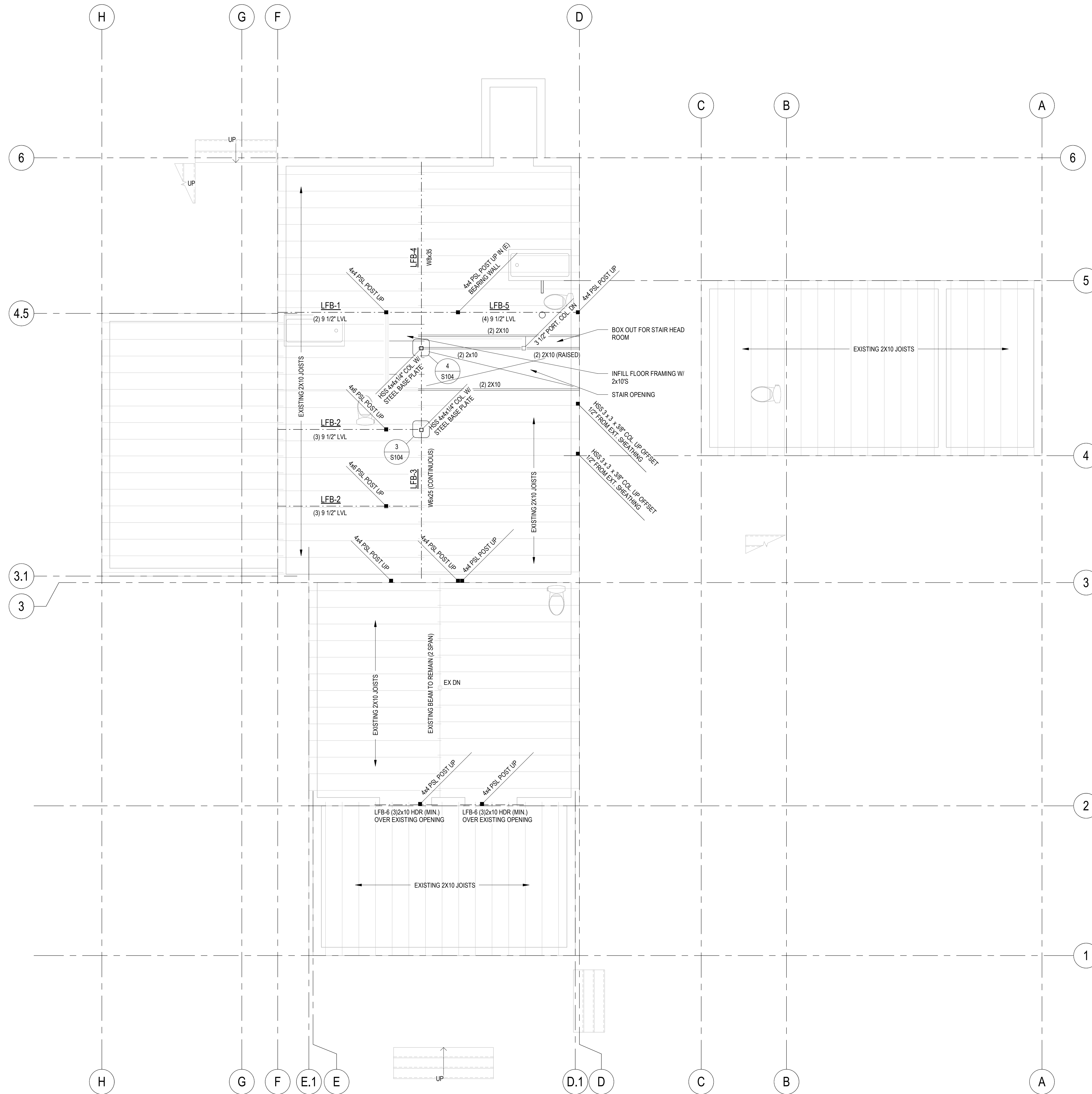
4 Smith Lane, Chilmark, MA

ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
 SCALE: 1/4" = 1'-0"
 DRAWN: SRW
 CHECKED: CD
 SHEET INFO:
 FOUNDATION PLAN

S100



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

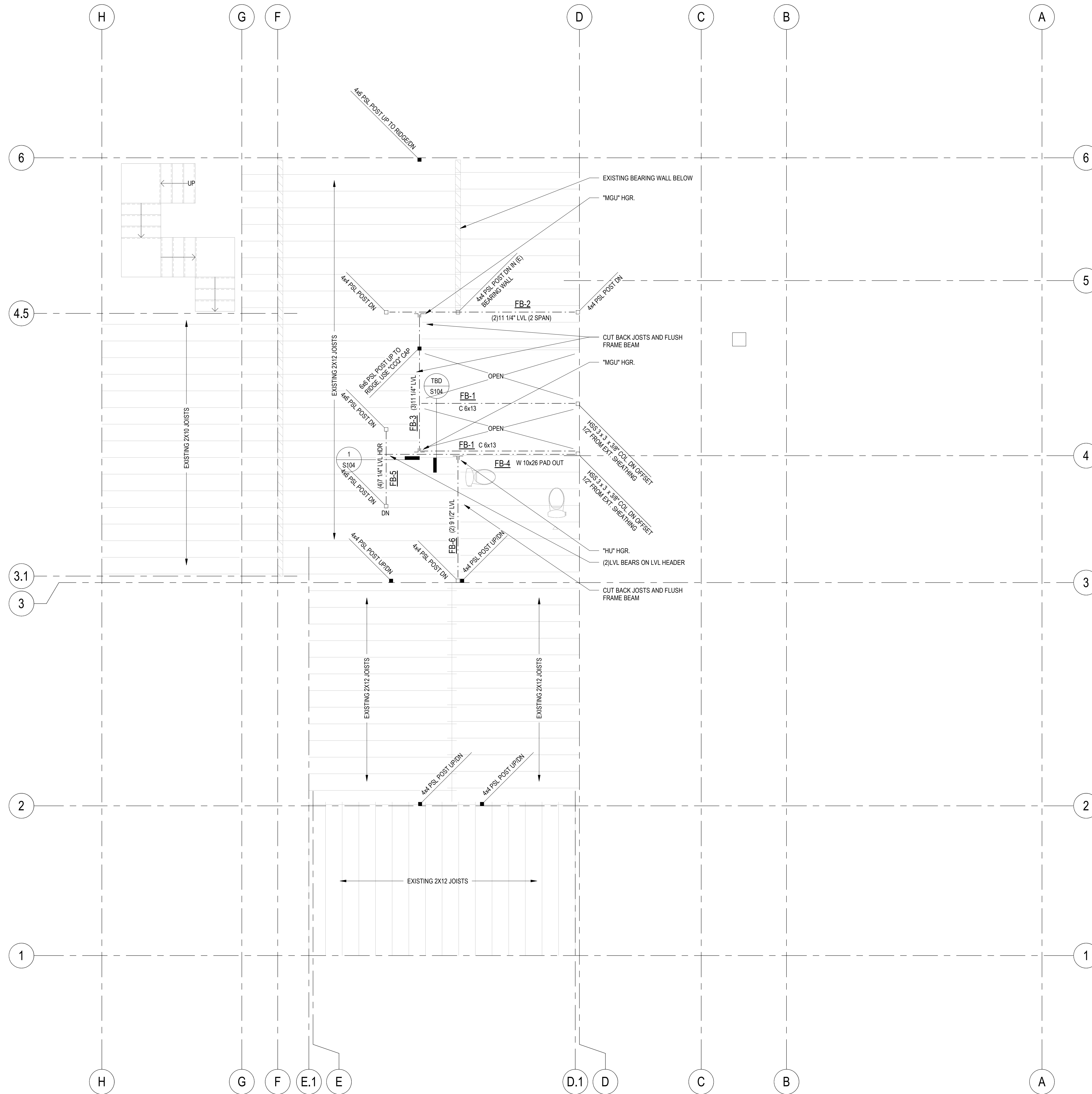
ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED: CD

SHEET INFO:
FIRST FLOOR FRAMING PLAN

S101



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

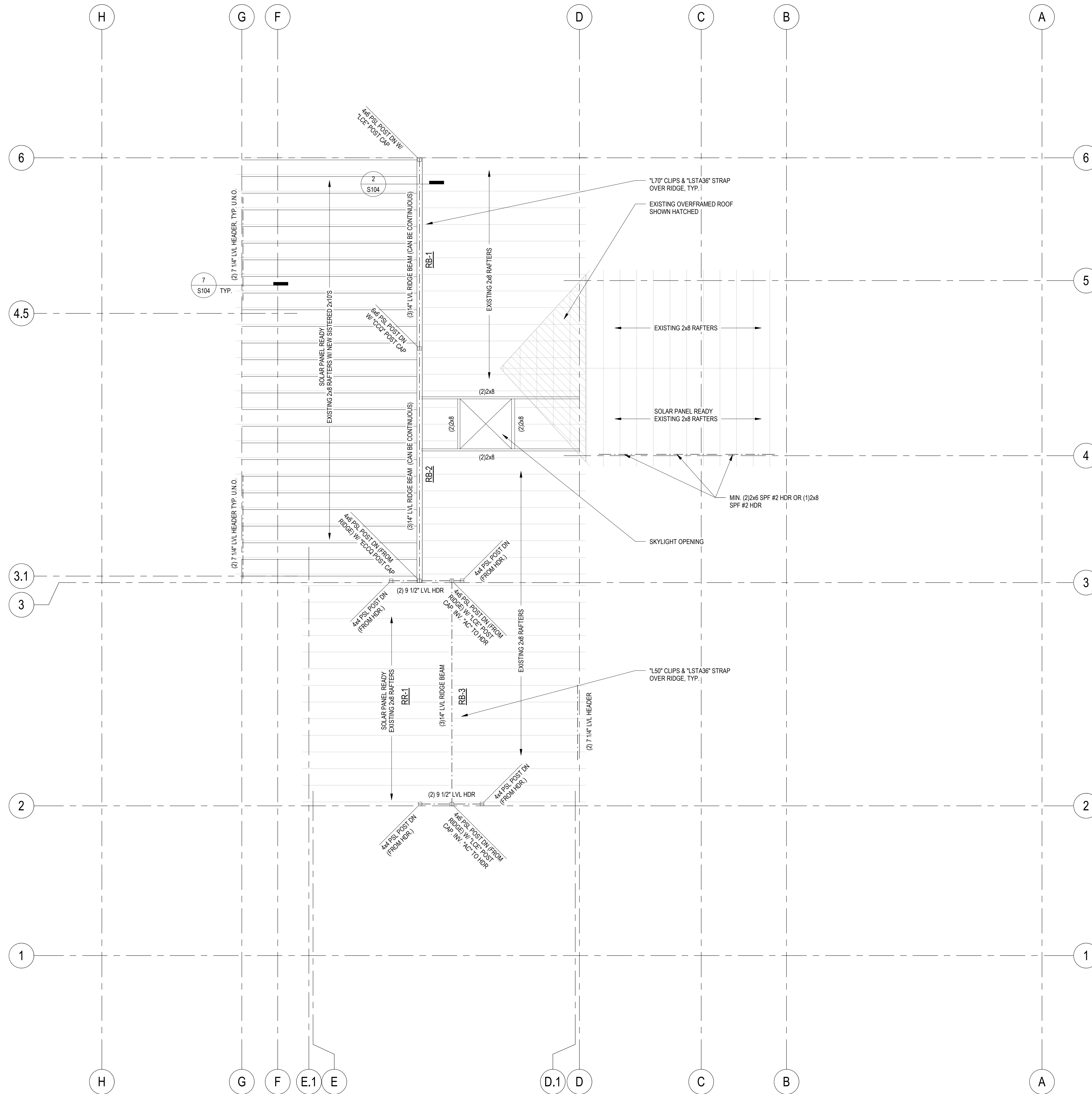
ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED: CD

SHEET INFO:
SECOND FLOOR FRAMING PLAN

S102



Smith Lane Residence

P23001

4 Smith Lane, Chilmark, MA

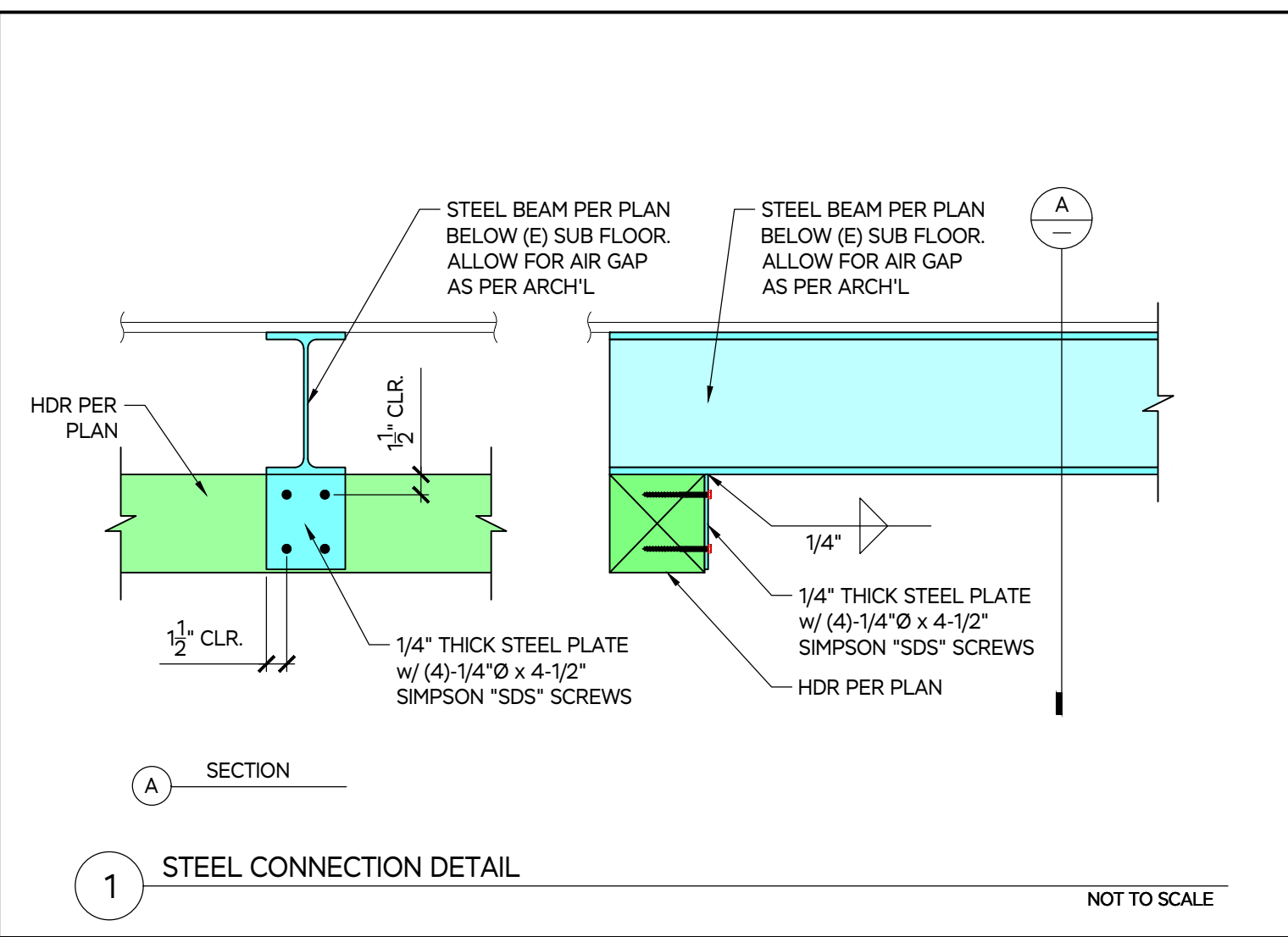
ISSUANCE:
ISSUED FOR PERMIT & CONSTRUCTION

REVISION:

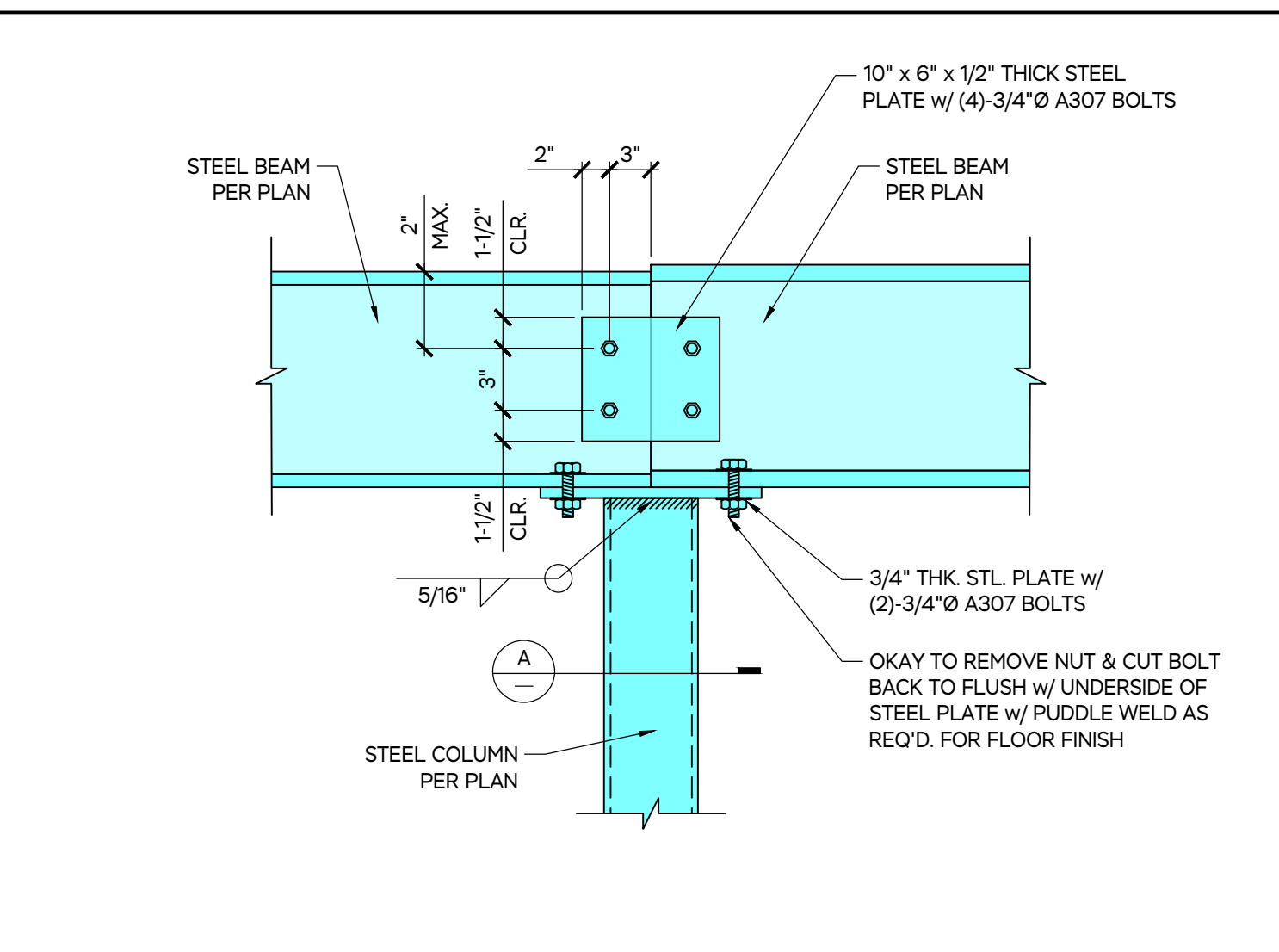
DATE: 8-14-2023
SCALE: 1/4" = 1'-0"
DRAWN: SRW
CHECKED: CD

SHEET INFO:
ROOF FRAMING PLAN

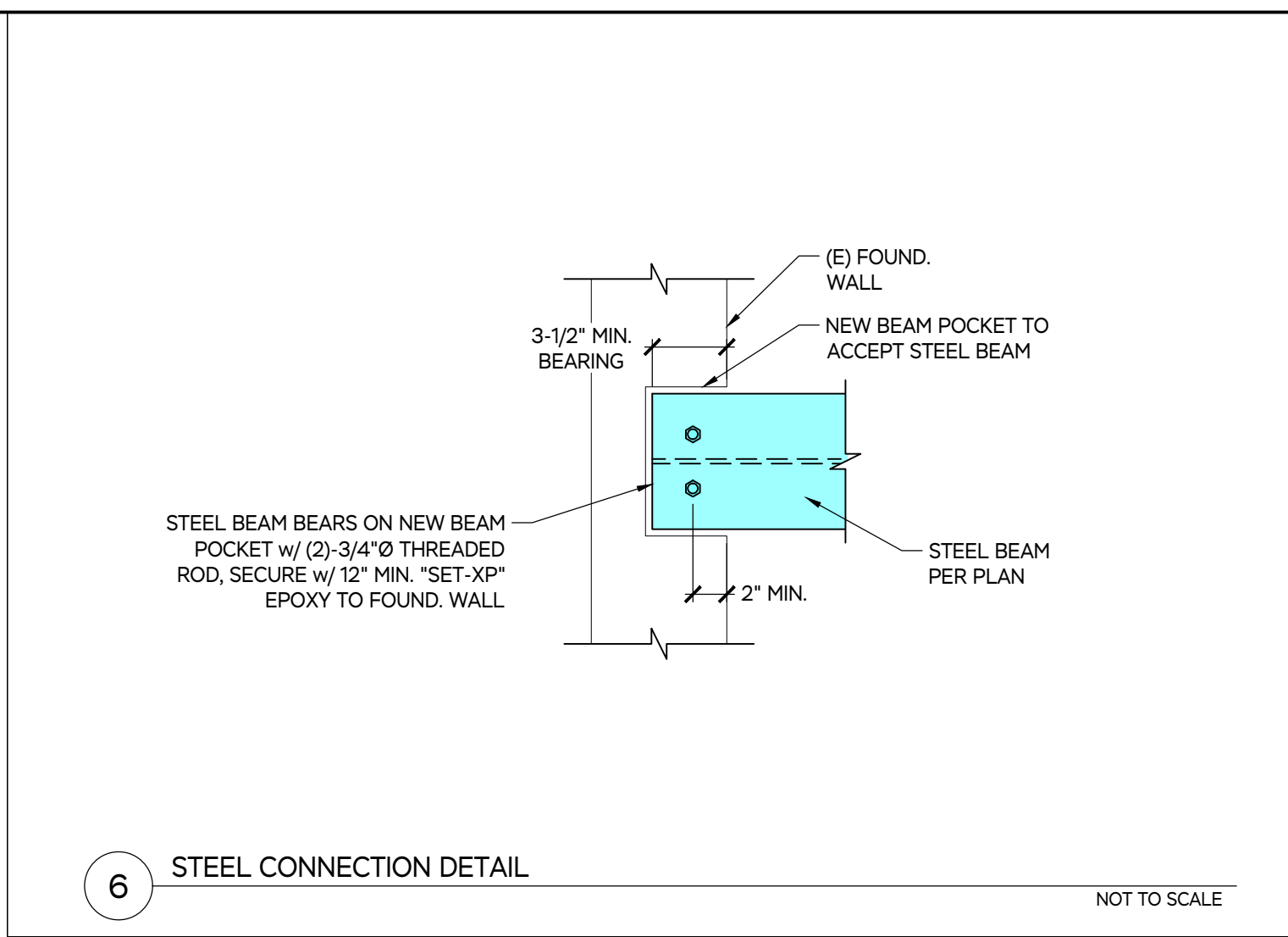
S103



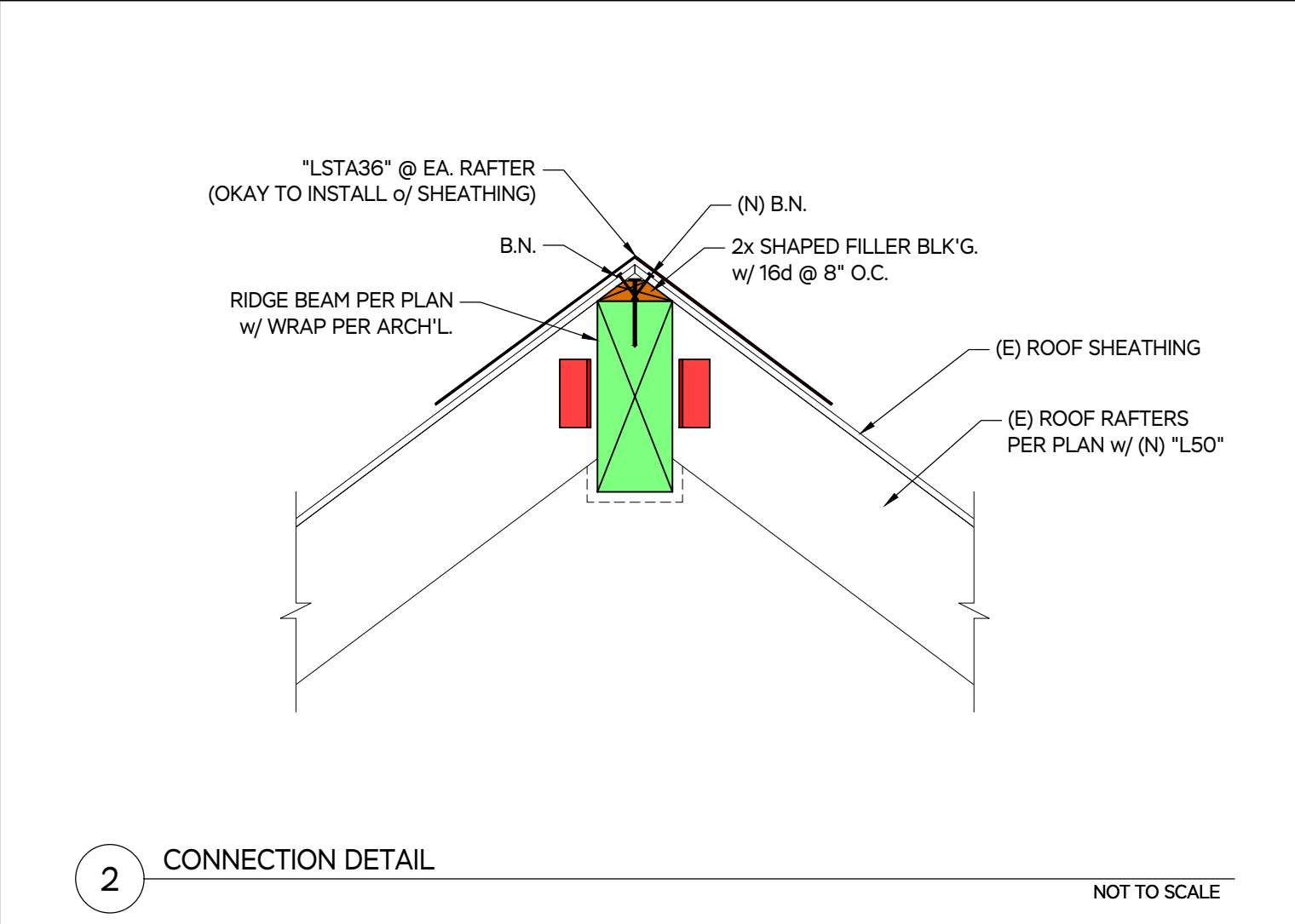
1 STEEL CONNECTION DETAIL NOT TO SCALE



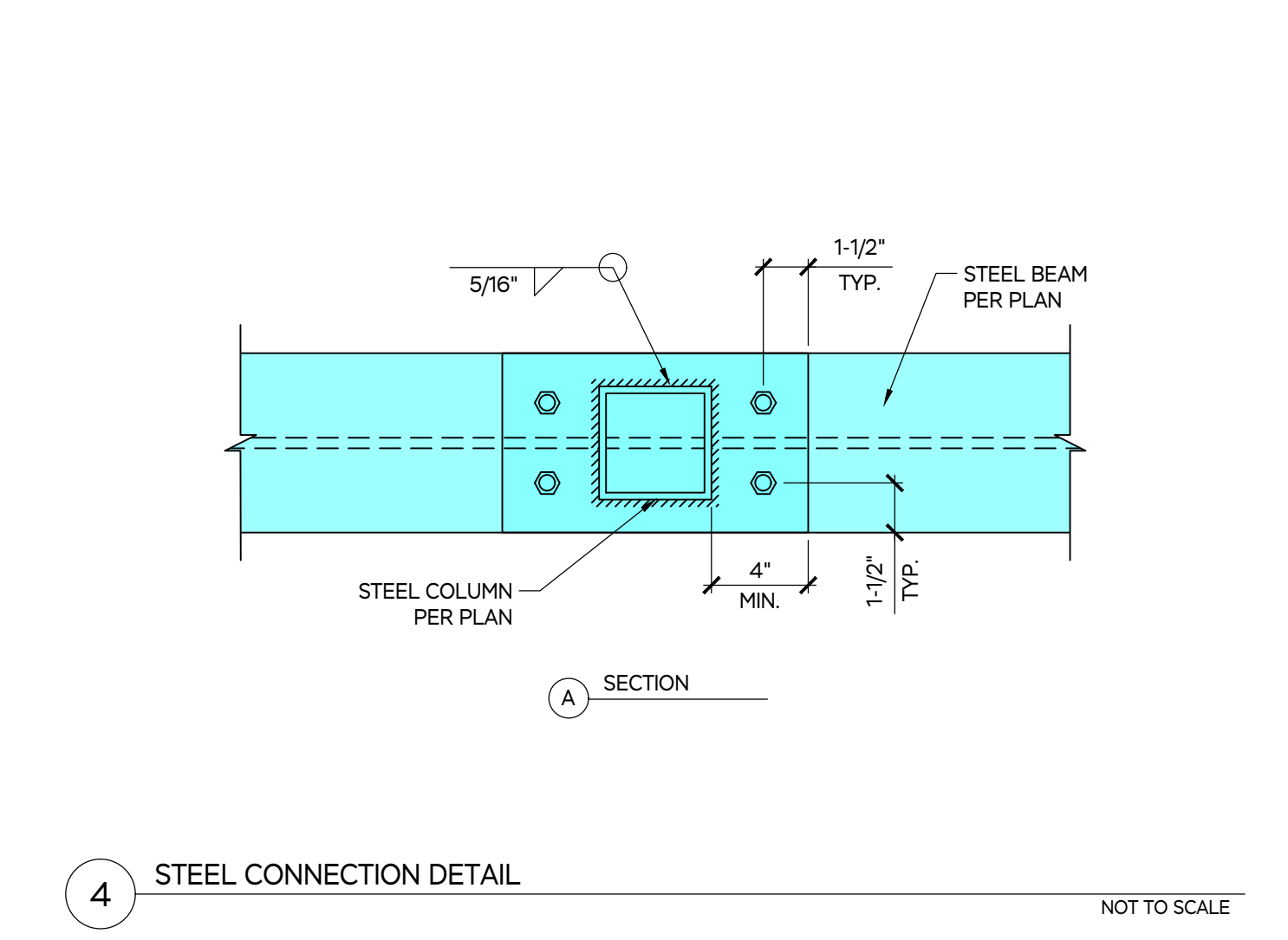
4 STEEL CONNECTION DETAIL NOT TO SCALE



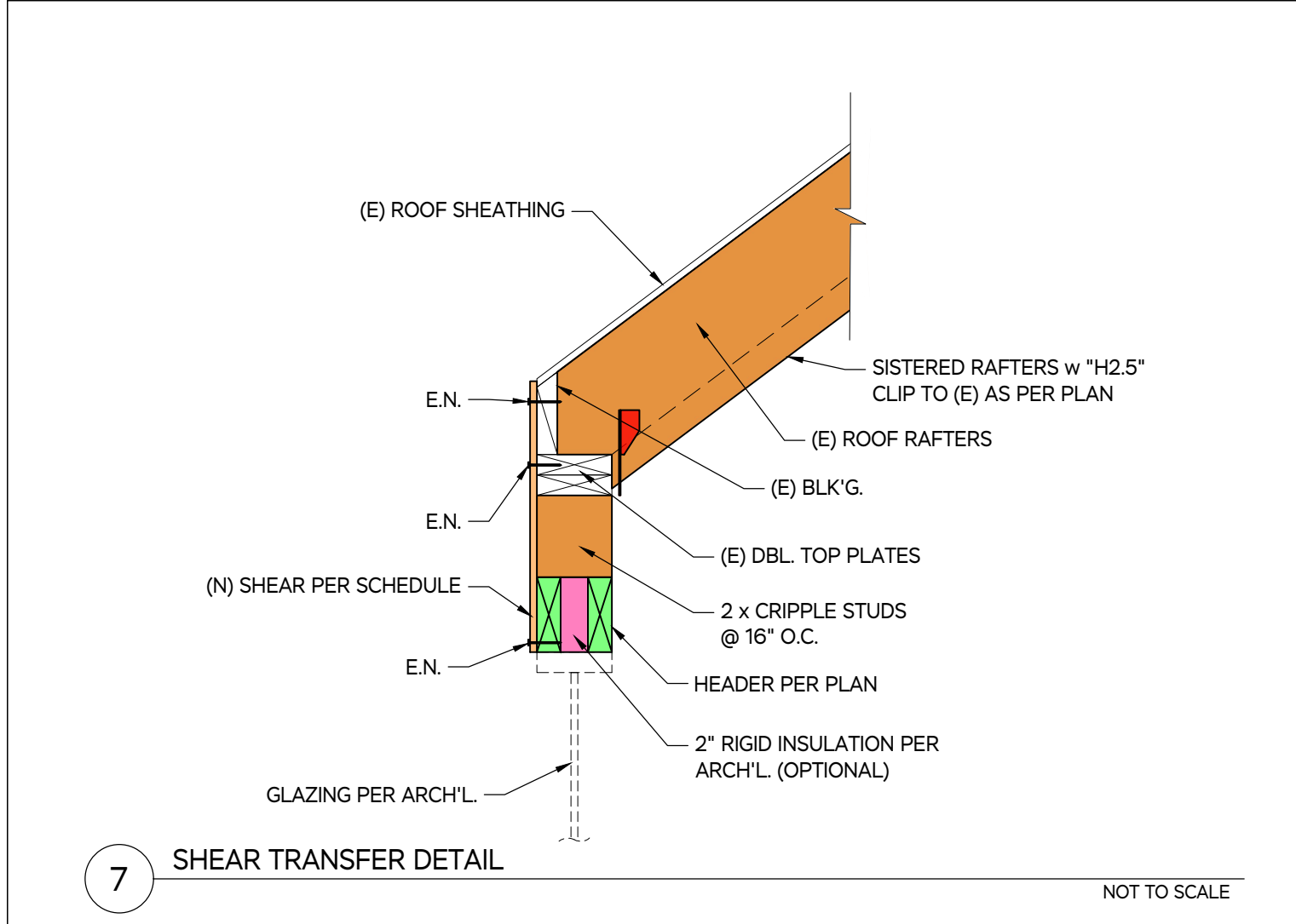
6 STEEL CONNECTION DETAIL NOT TO SCALE



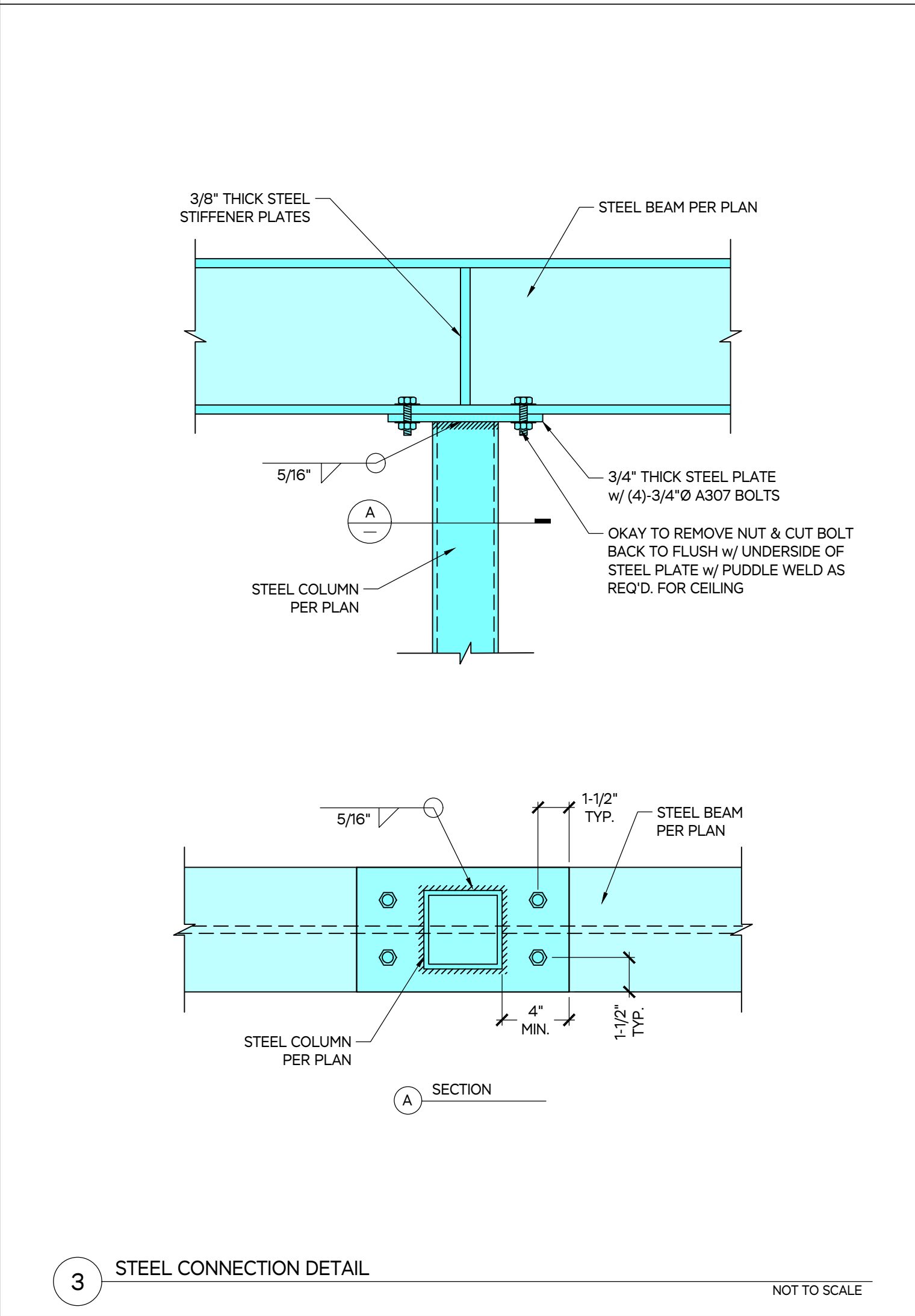
2 CONNECTION DETAIL NOT TO SCALE



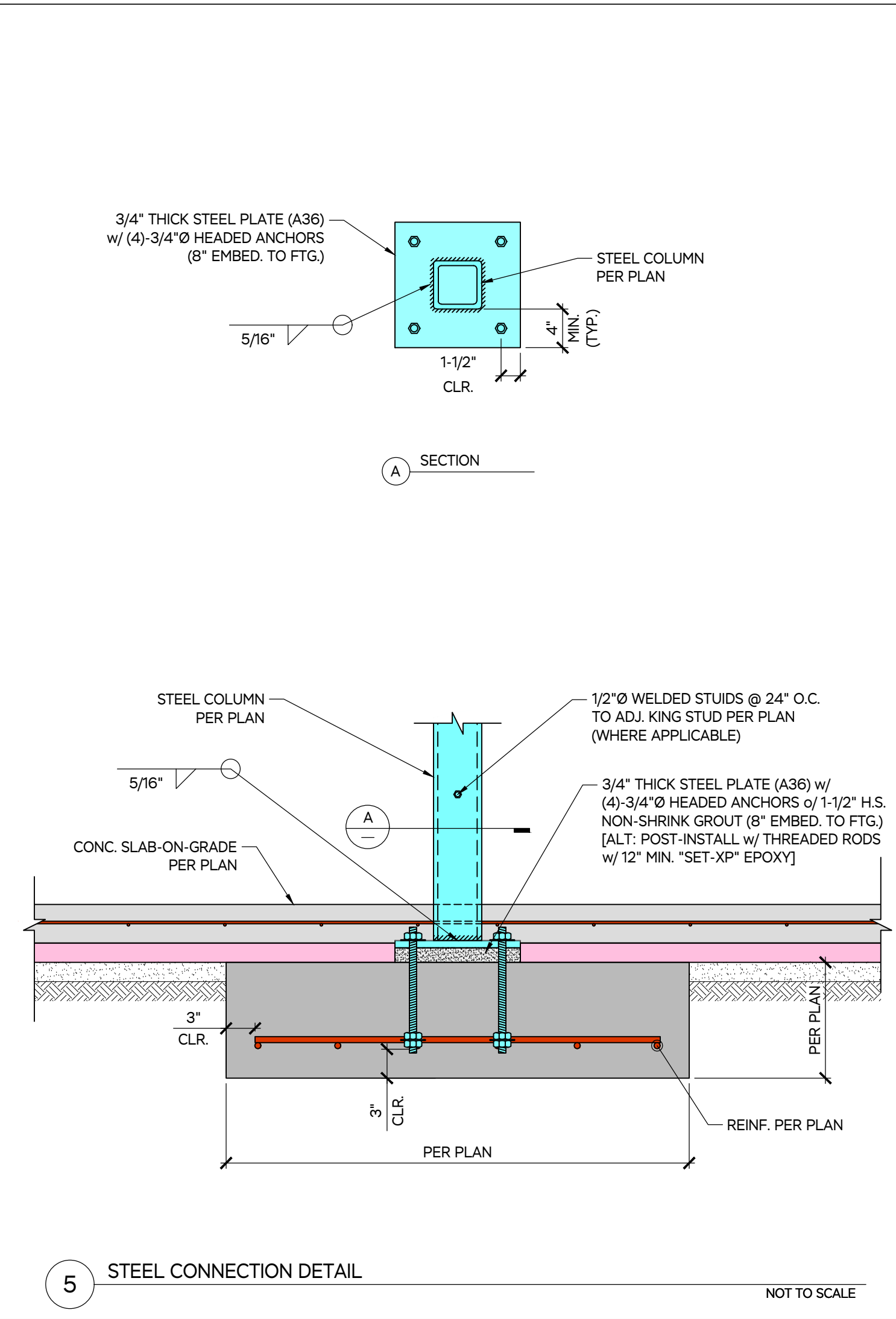
3 STEEL CONNECTION DETAIL NOT TO SCALE



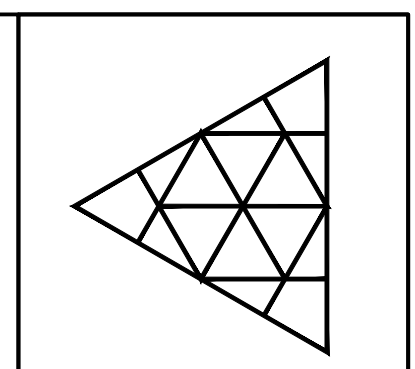
7 SHEAR TRANSFER DETAIL NOT TO SCALE



5 STEEL CONNECTION DETAIL NOT TO SCALE

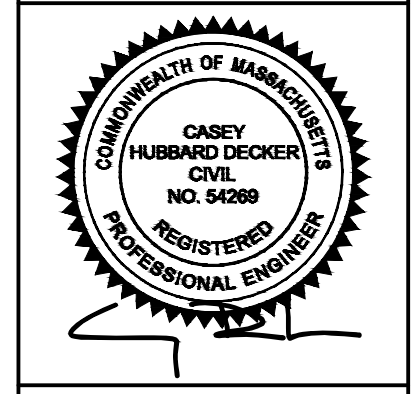


6 STEEL CONNECTION DETAIL NOT TO SCALE



ISSUED FOR	DATE	DRAWN	CHECK				
				REVIEW SET	CHD	CHD	CHD
PERMIT SET	7.13.2023	CHD	CHD	CHD			
	7.26.2023	CHD	CHD	CHD			

**MARTHA'S VINEYARD
ENGINEERING & DESIGN**
79 BEACH ROAD, VINEYARD HAVEN, MA 02568
774.563.8535 INFO@MYENGINEERING.DESIGN



SCALE:
SEE PLANS

JOB NUMBER:

PROJECT:
SMITH LN RESIDENCE
4 SMITH LN,
CHILMARK, MA 02535

SHEET TITLE:
STRUCTURAL DETAILS

DATE:
26 JULY 2023

S104