



458 North Road

Chilmark, MA

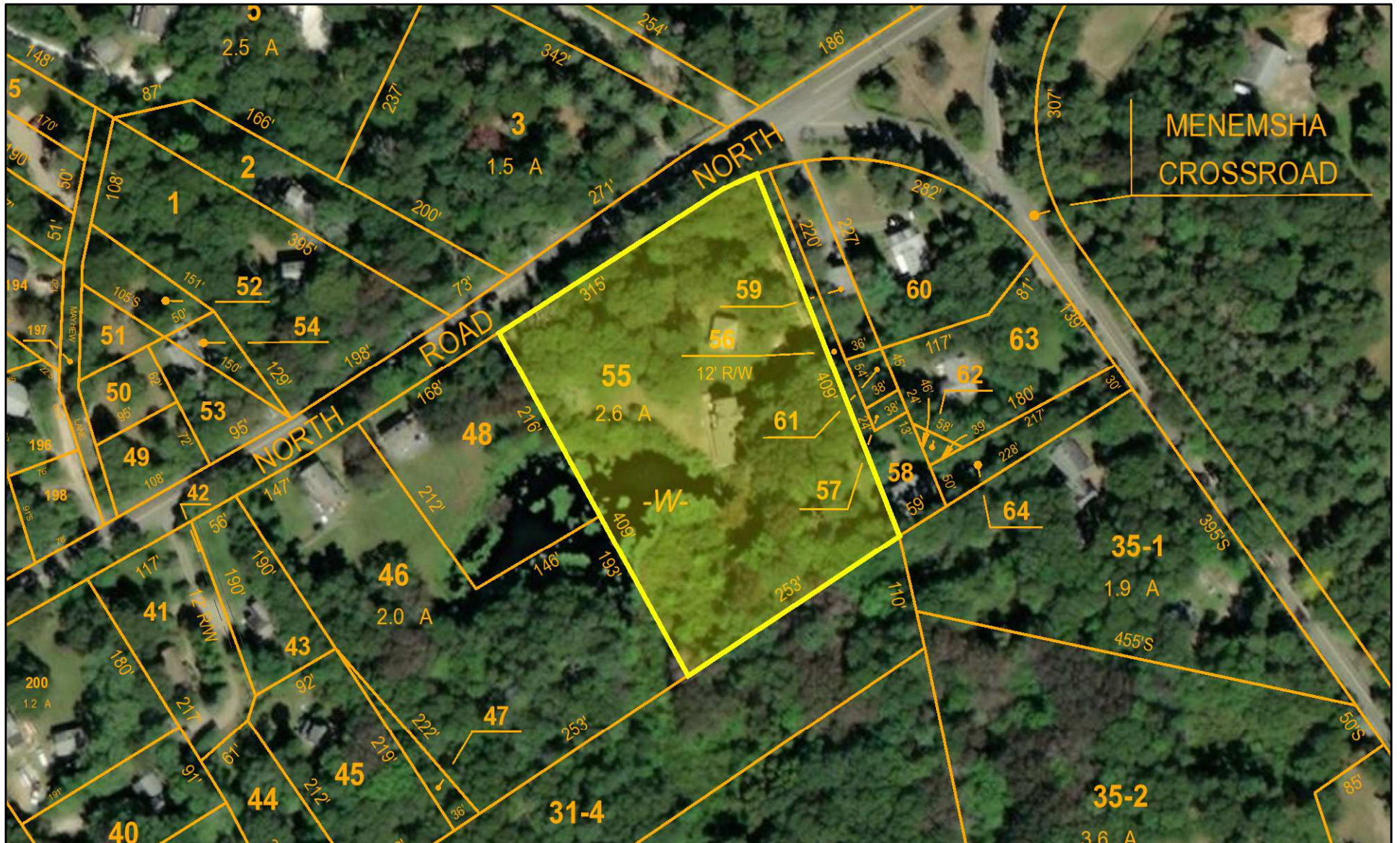


February 18, 2022

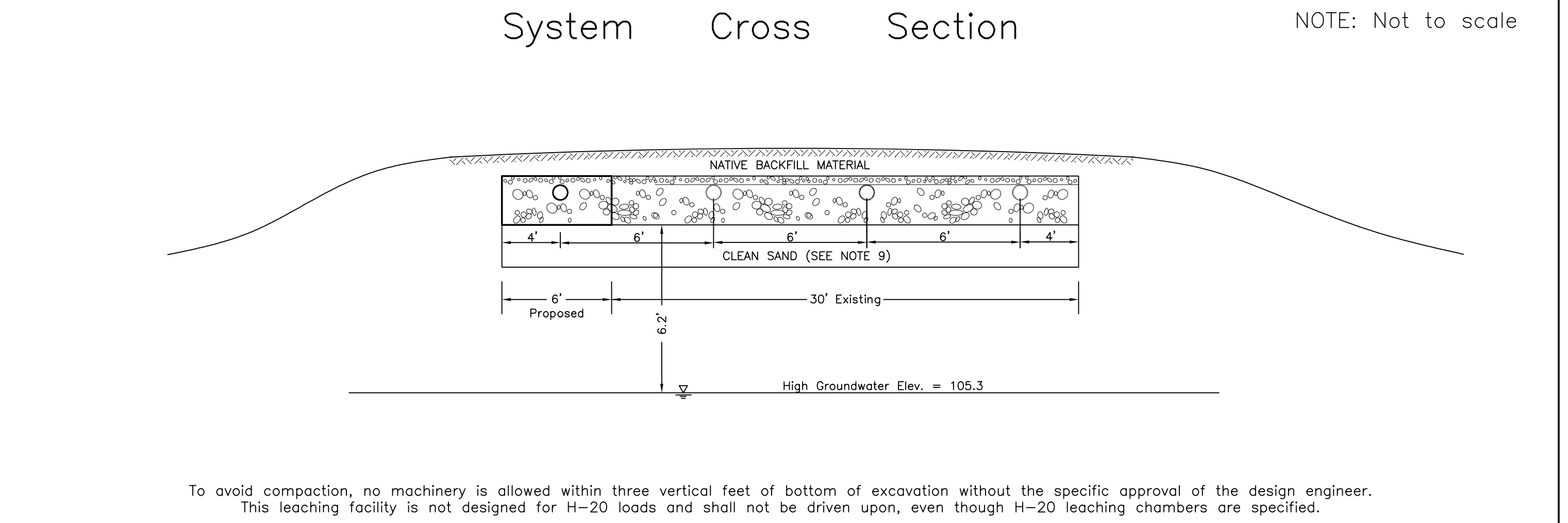
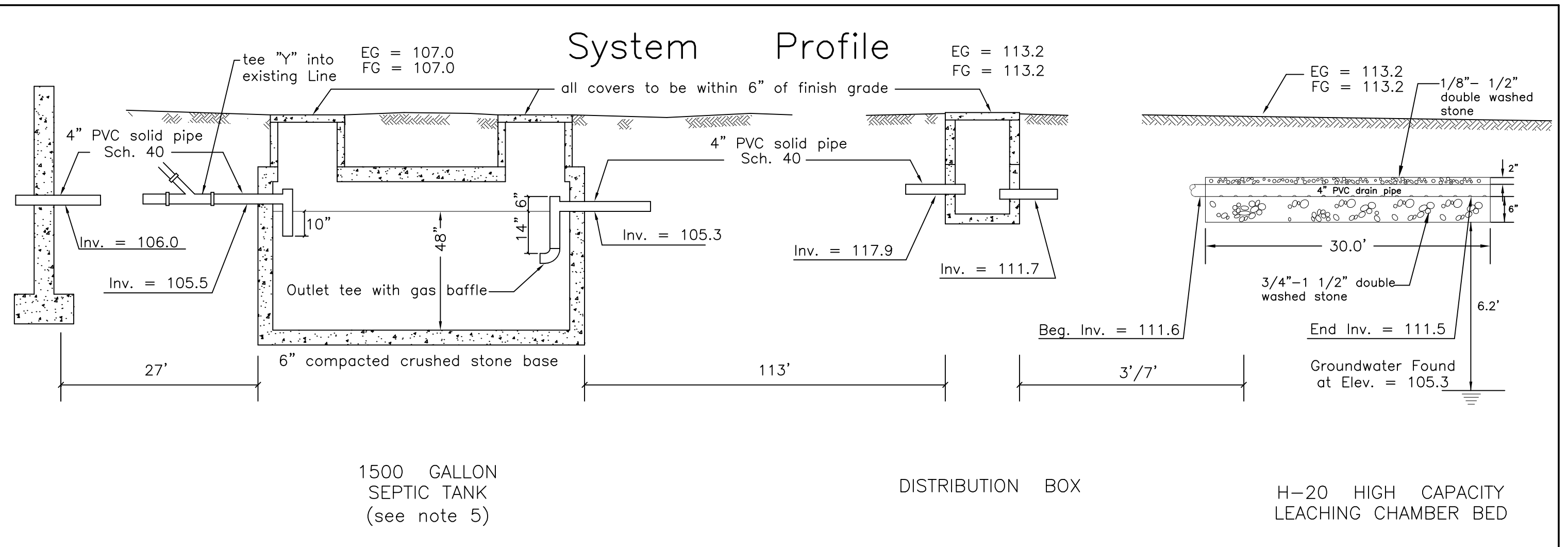
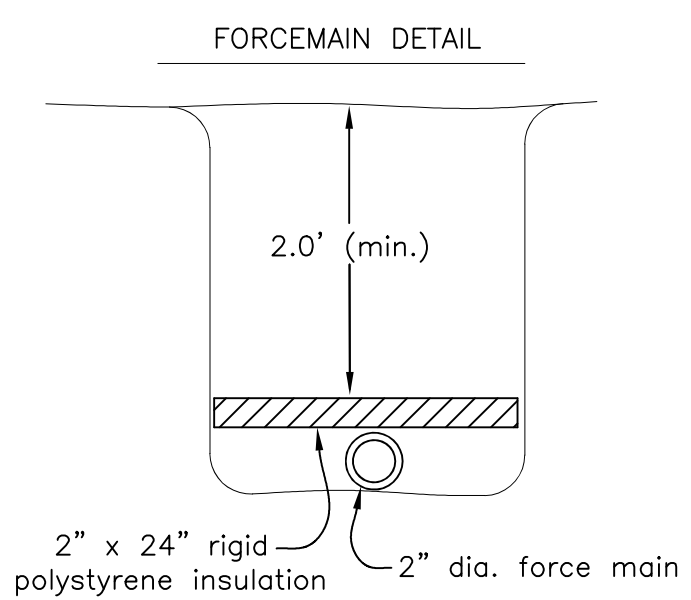
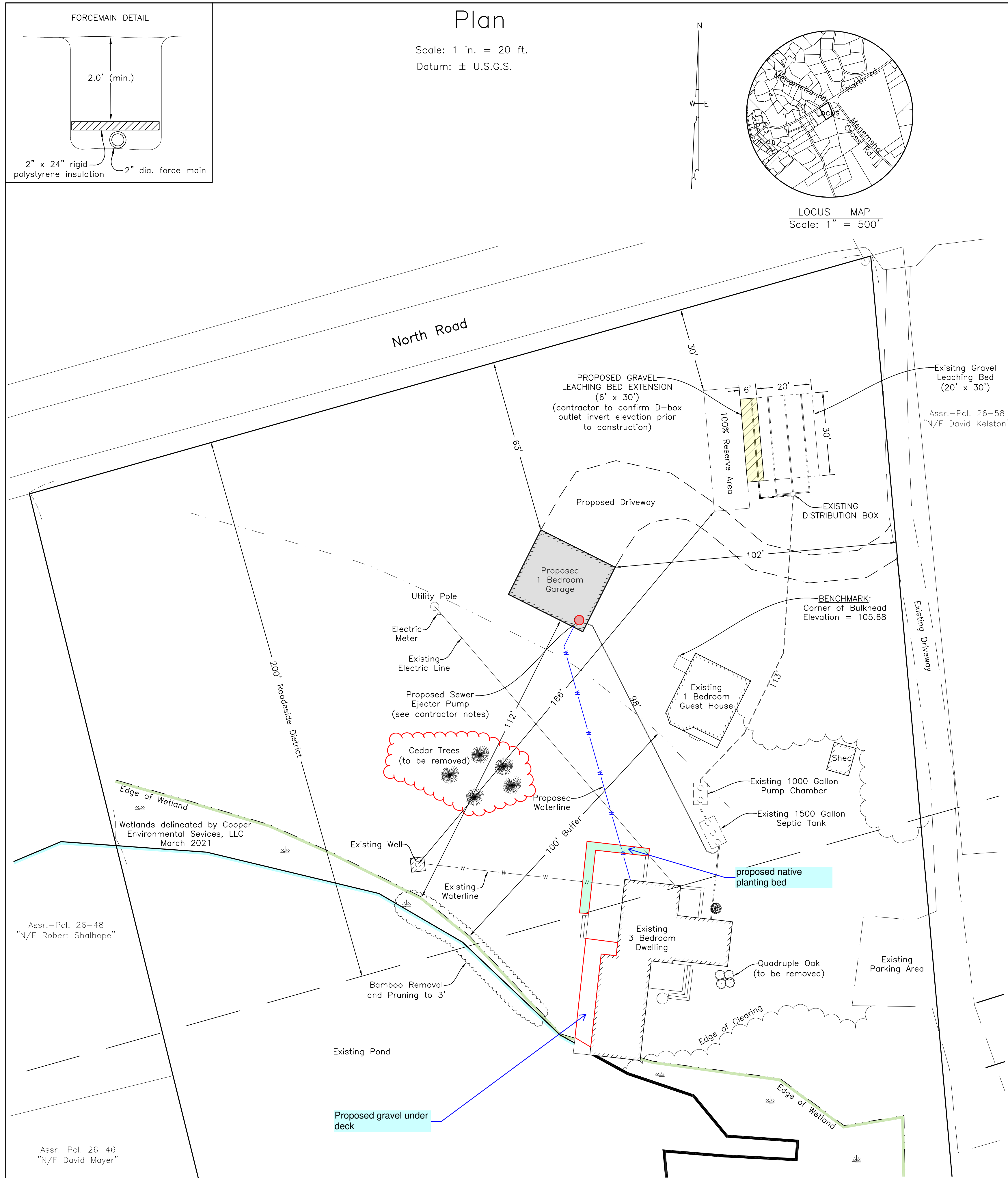
1 inch = 141 Feet



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



- #### Notes
1. This plan is to be used only for the approval and installation of a sewage disposal system and is not to be used for any other purpose.
 2. All construction and components shall conform to Massachusetts State Environmental Code TITLE V and Local Board of Health Requirements.
 3. This design does not warrant the location of underground pipes, wires, utilities or other underground structures. The installer shall be responsible for locating and relocating these objects as necessary.
 4. No garbage grinder is allowed with this system.
 5. Any portion of this system subject to vehicular traffic shall be capable of H-20 loading.
 6. An observation pipe shall be placed as shown and capped at grade so as to allow monitoring of liquid level in the leaching system. Place re-rod flush at each to aid in relocating with metal detector.
 7. All access covers are to weigh at least 150 lbs. or screwed down.
 8. Leaching Chambers shall consist of Infiltrator high capacity, ADS high capacity biodiffuser or an approved equivalent.
 9. Any clean sand fill required by this design is to have less than 4% passing the No. 100 sieve.
 10. No wells could be found within 150' of the proposed leaching facility.
 11. The engineer (AND the local approving authority) is to inspect and approve the installation and placement of all septic components before final backfilling.
 12. A letter certifying satisfactory construction of this system is to be provided to the owner and the Board of Health by the Engineer.

Design Criteria

Design Hydraulic Loading: 5 Bedrooms x 110 GPD/Bedroom = 550 GPD
Septic tank capacity: Required: 550 GPD x 200% = 1100 Gal. minimum Septic tank provided = 1500 Gal.
Leaching Area Requirements: Total Bottom Area = 30'x26' = 780 sq.ft. 780 sq.ft. x 0.74 GPD/sq.ft. = 577 GPD

* Per modified certification for general use High capacity leaching chamber units are allowed 4.7 sq.ft. leaching area per lineal ft. in bed configuration.

Soil Data

See original Septic Design by Dave Taylor dated May 12, 2000

- #### CONTRACTOR NOTES:
1. Ejector pump shall be Non-Grinder type and capable of passing a 2" solid (see 310 CMR 15.229 for additional requirements).
 2. The force main shall be buried to a depth of 4 ft. or insulated in accordance with the force main detail.
 3. This design does not warrant the location of underground pipes, wires, utilities or other underground structures. The installer shall be responsible for locating and relocating these objects as necessary.

Proposed Septic System on Land in Chilmark, MASS.

Designed for: NANCY AMEEN

Street Address: #458 NORTH ROAD

Assessor No.: 26-55

Lot Area: ±2.64 acres

Designed By: Troy Silva

Checked By: R.G.S.

Date: November 4, 2021

Revised:

Reid G. Silva
November 22, 2021

VINEYARD LAND SURVEYING & ENGINEERING

12 Cournoyer Road
P.O. Box 421
West Tisbury, MA 02575
P 508-693-3774 F 508-629-0440
VLSE.net

458 NORTH ROAD:

PROPOSED GARAGE AND MAIN HOUSE OVERHANG

project

458 NORTH ROAD
CHILMARK, MA

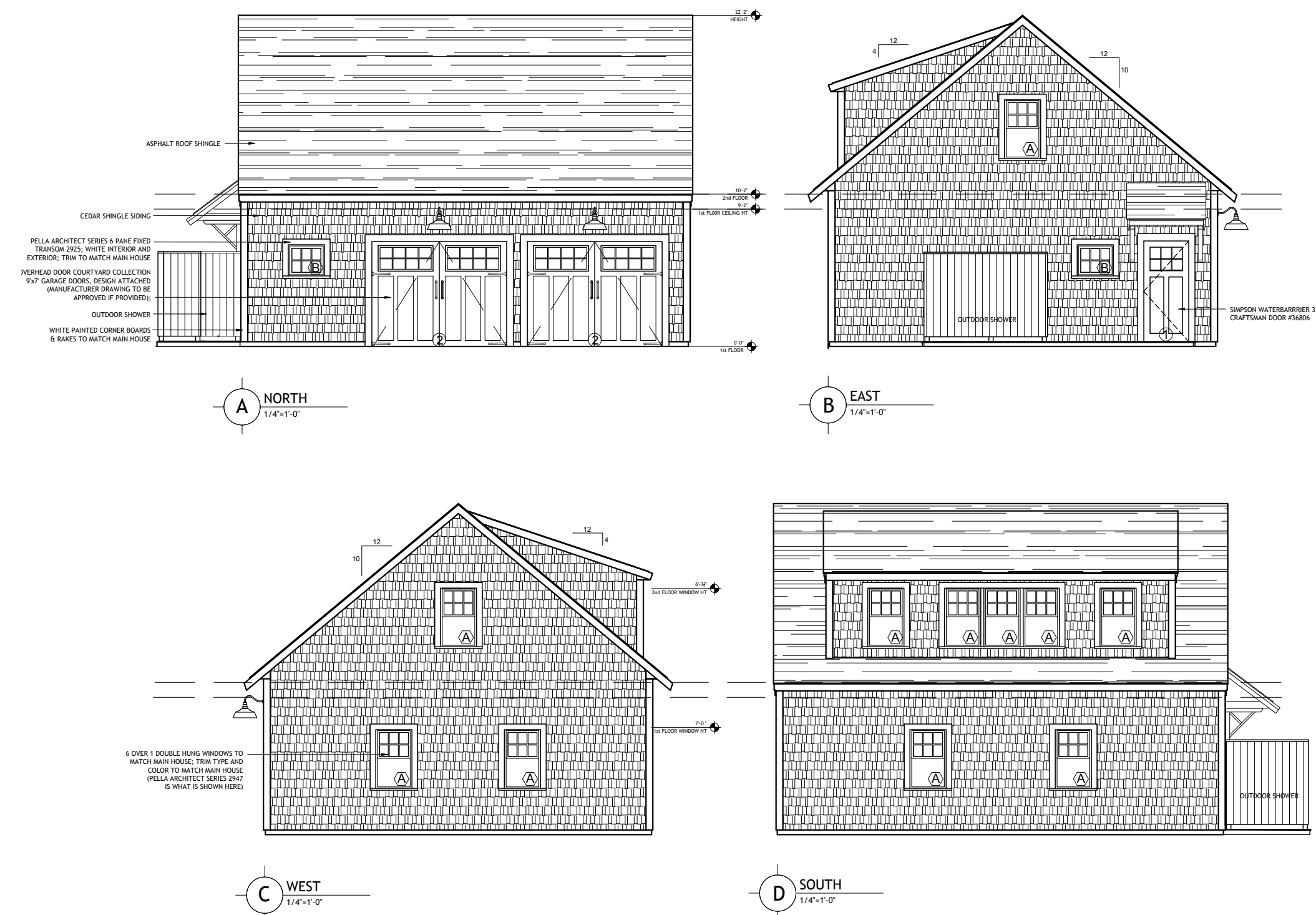
notes

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2. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS. CONTRACTORS UNDERTAKING WORK WITHOUT FIRST SECURING AND MAINTAINING NECESSARY APPROVALS, PERMITS AND LICENSES ETC, DO SO AT THEIR OWN RISK ENTIRELY AND ASSUME FULL RESPONSIBILITY FOR THEIR ACTIONS AND ANY CONSEQUENTIAL DAMAGES TO OTHER PARTIES SUCH AS PROPERTY OWNER, DESIGNER OR ARCHITECT.

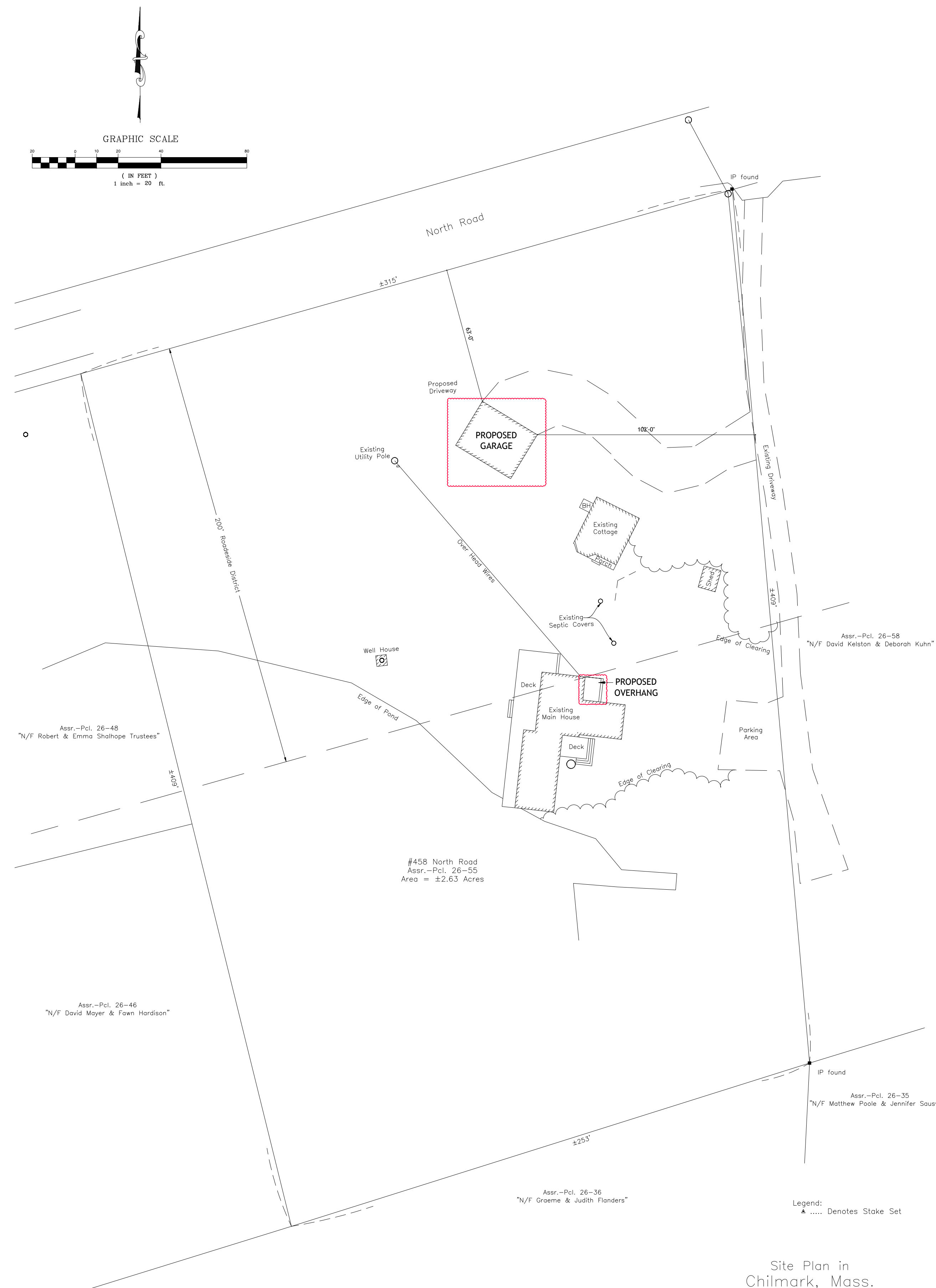
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4. CONTRACTOR TO PROVIDE SUBMITTALS AND SAMPLES TO INTERIOR DESIGNER FOR:
- SHOP DRAWINGS FOR ALL MILLWORK
- TILE SAMPLES
- WOOD SAMPLES
- PAINT SAMPLES
- PLUMBING SPECS SUBMITTAL
- LIGHTING SPECS SUBMITTAL
- GLASS SHOWER DOORS



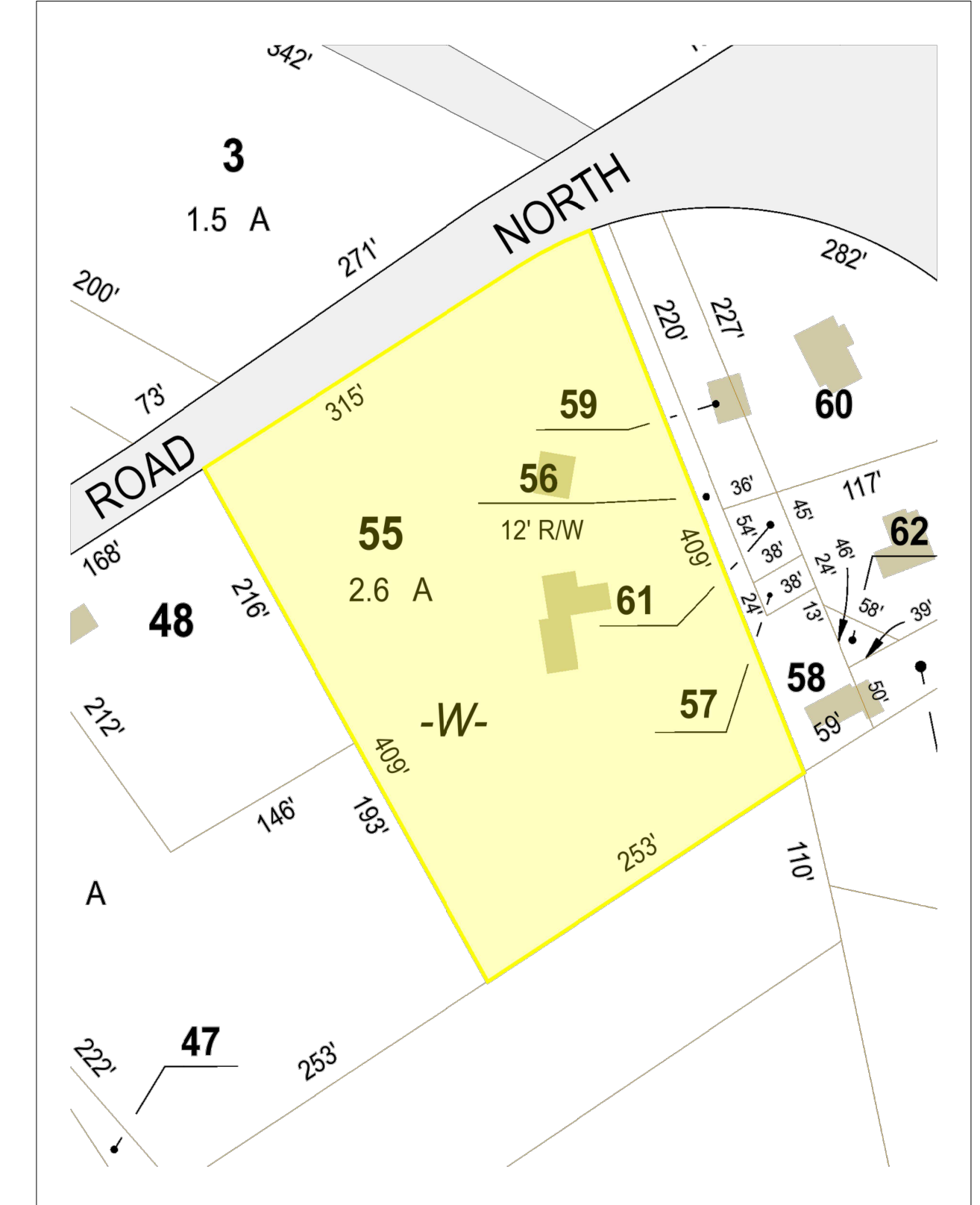
GARAGE EXTERIOR WINDOW AND DOOR SCHEDULE

EXTERIOR WINDOWS						
TYPE	OPERATION	QTY	MANUFACTURER	MODEL	FINISH	REMARKS
A	DOUBLE HUNG	11	PELLA	ARCHITECT SERIES 2847	WHITE	7'-5 3/4" X 5'-11 3/4" 6 OVER 1 DIVIDED LITE
B	FIXED	2	PELLA	ARCHITECT SERIES 2855	WHITE	2'-5 3/4" X 3'-11 3/4" 4 LITE
EXTERIOR DOORS						
TYPE	OPERATION	QTY	MANUFACTURER	MODEL	FINISH	REMARKS
1	INSWING	1	SIMPSON	CRAFTSMAN 3606	WHITE	3'-0" X 6'-8" 4 LITE
2	OVERHEAD DOOR	2	OVERHEAD DOOR	COURTYARD MODEL #912	WHITE	9'-0" X 7'-0" STOCKTOON WINDOWS BEAN HINGES & PULLS



SITE PLAN

Site Plan in
Chilmark, Mass.



GIS MAP

revisions

date	no.	revision

title

COVER PAGE, SITE PLAN
AND WINDOW SCHEDULE

scale

AS NOTED

date

JANUARY 17,
2022

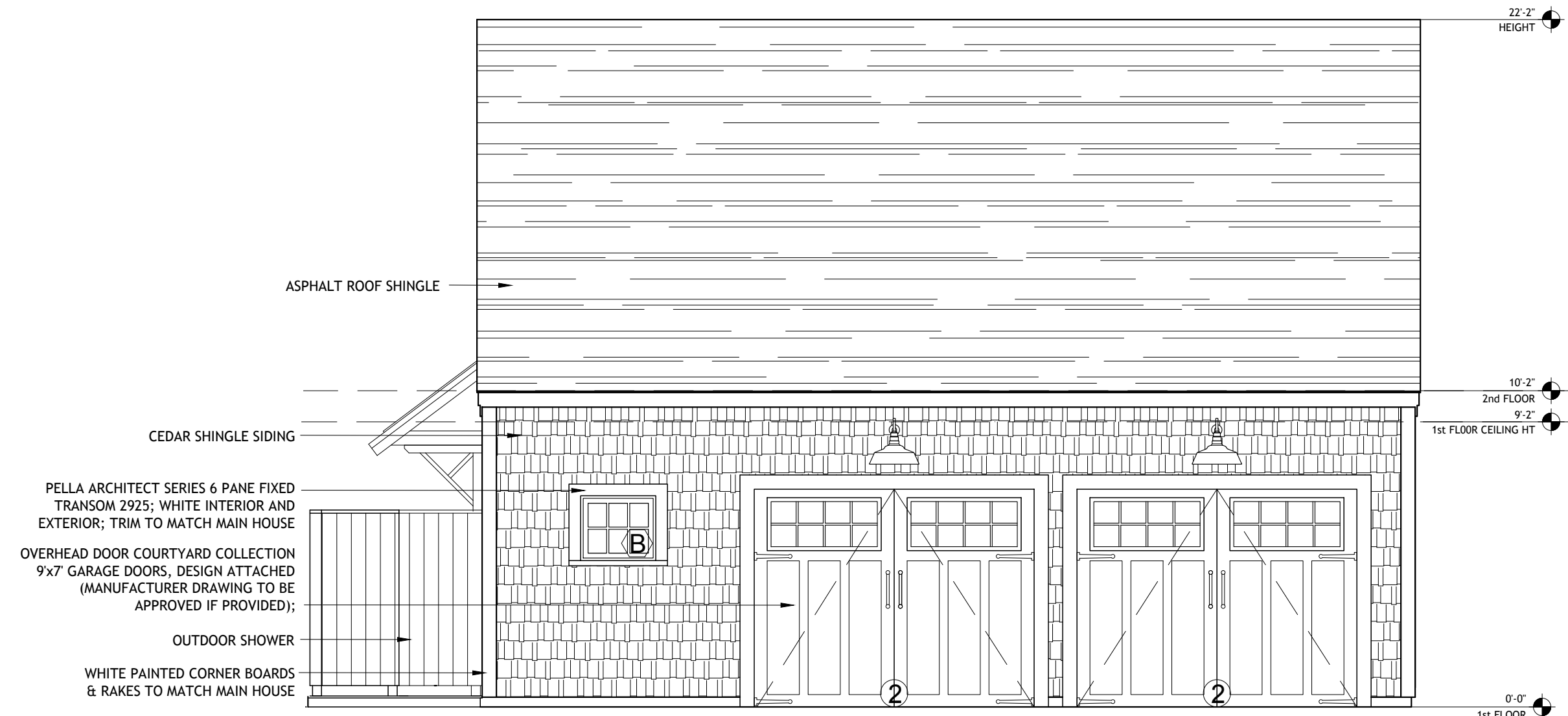
C-1

project

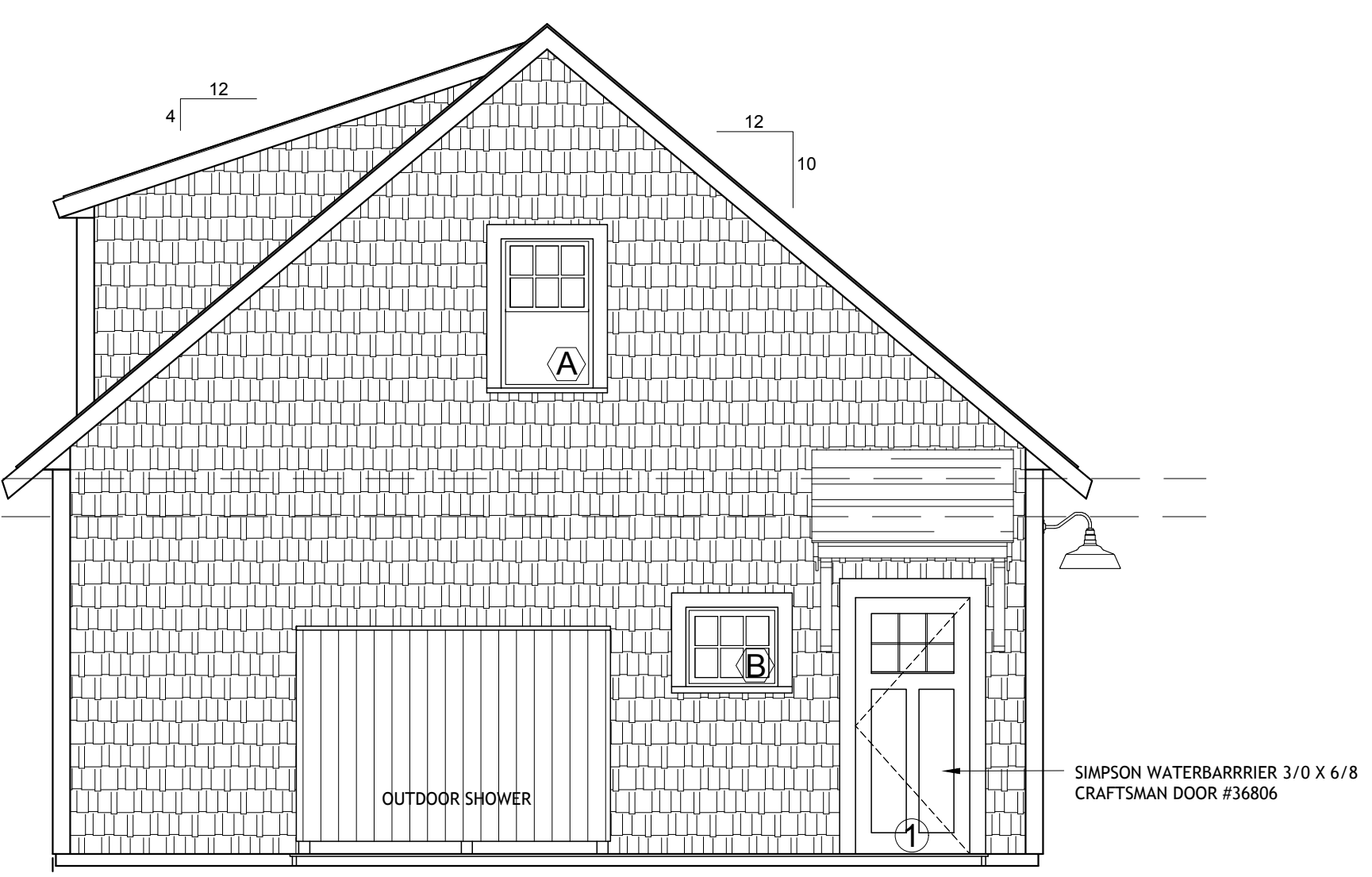
**458 NORTH ROAD
CHILMARK, MA**

notes

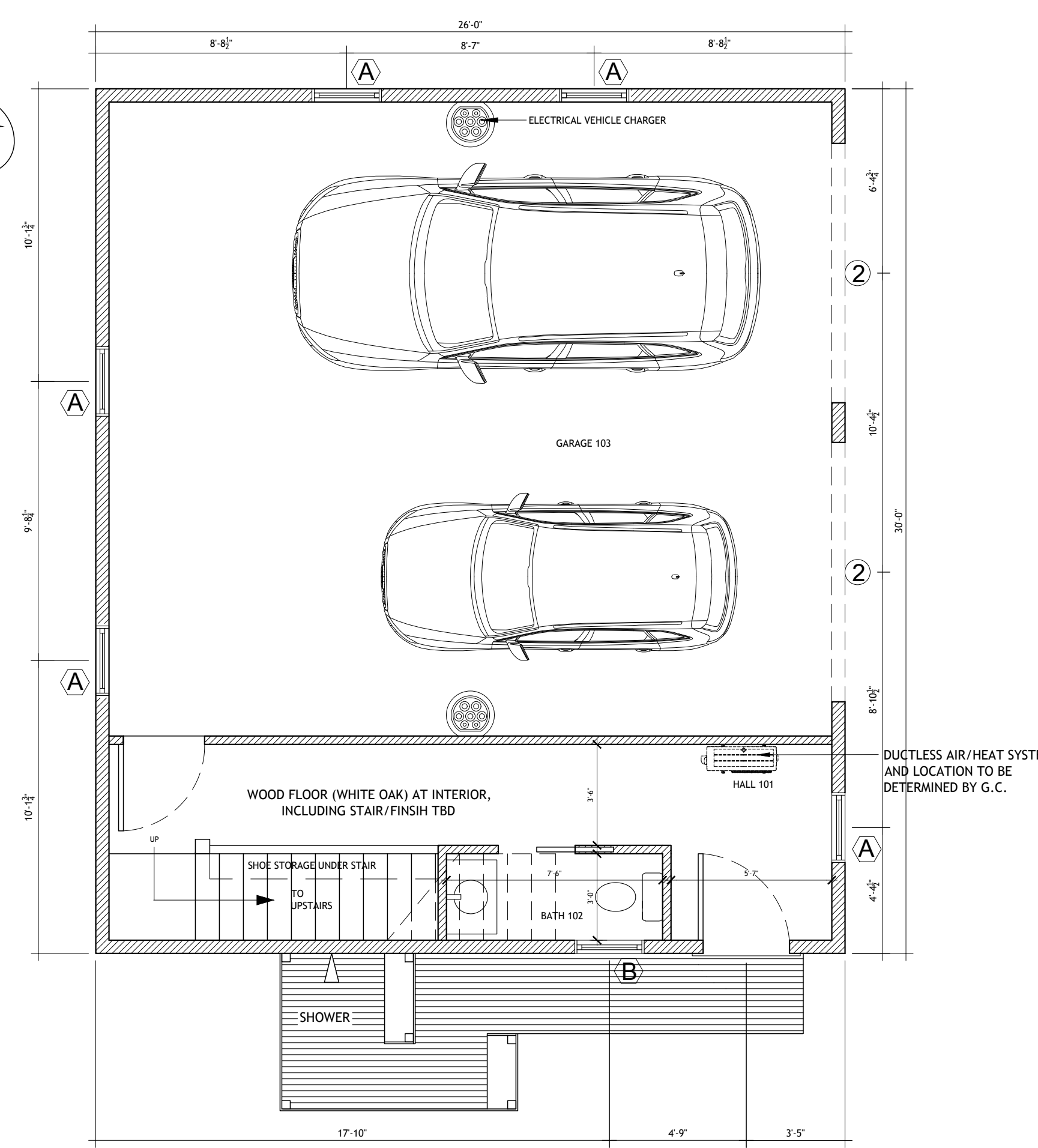
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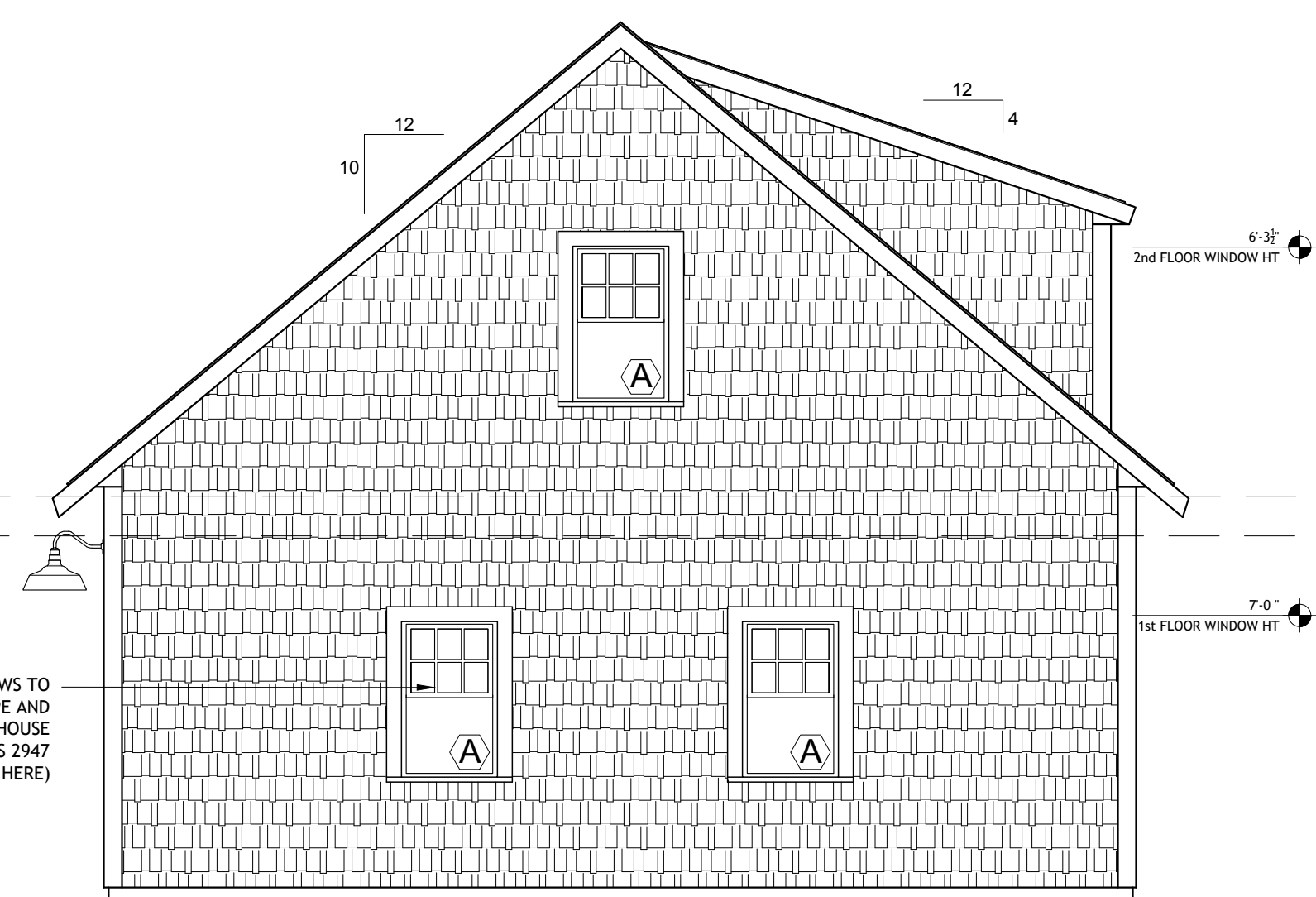
A NORTH
1/4"=1'-0"



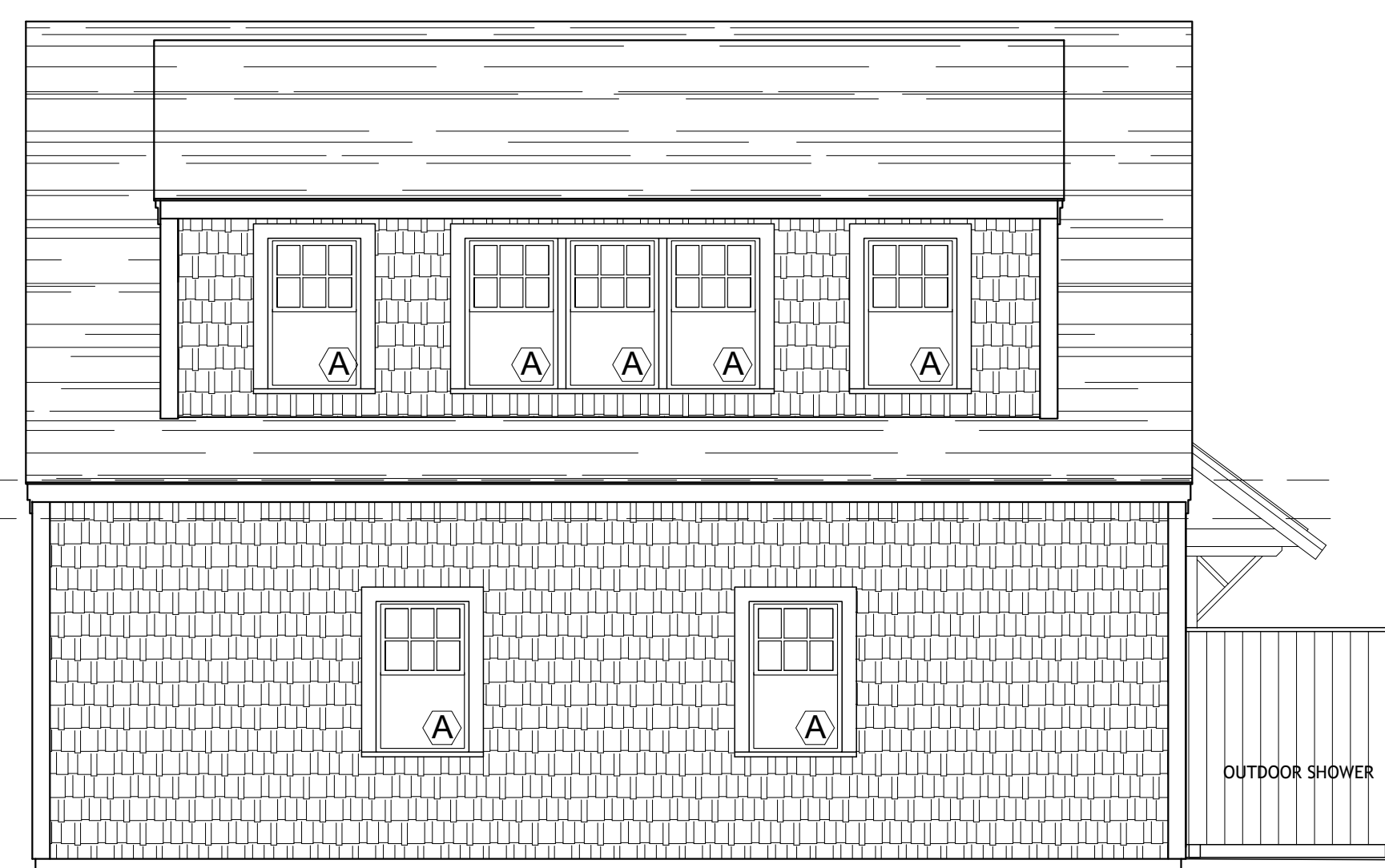
B EAST
1/4"=1'-0"



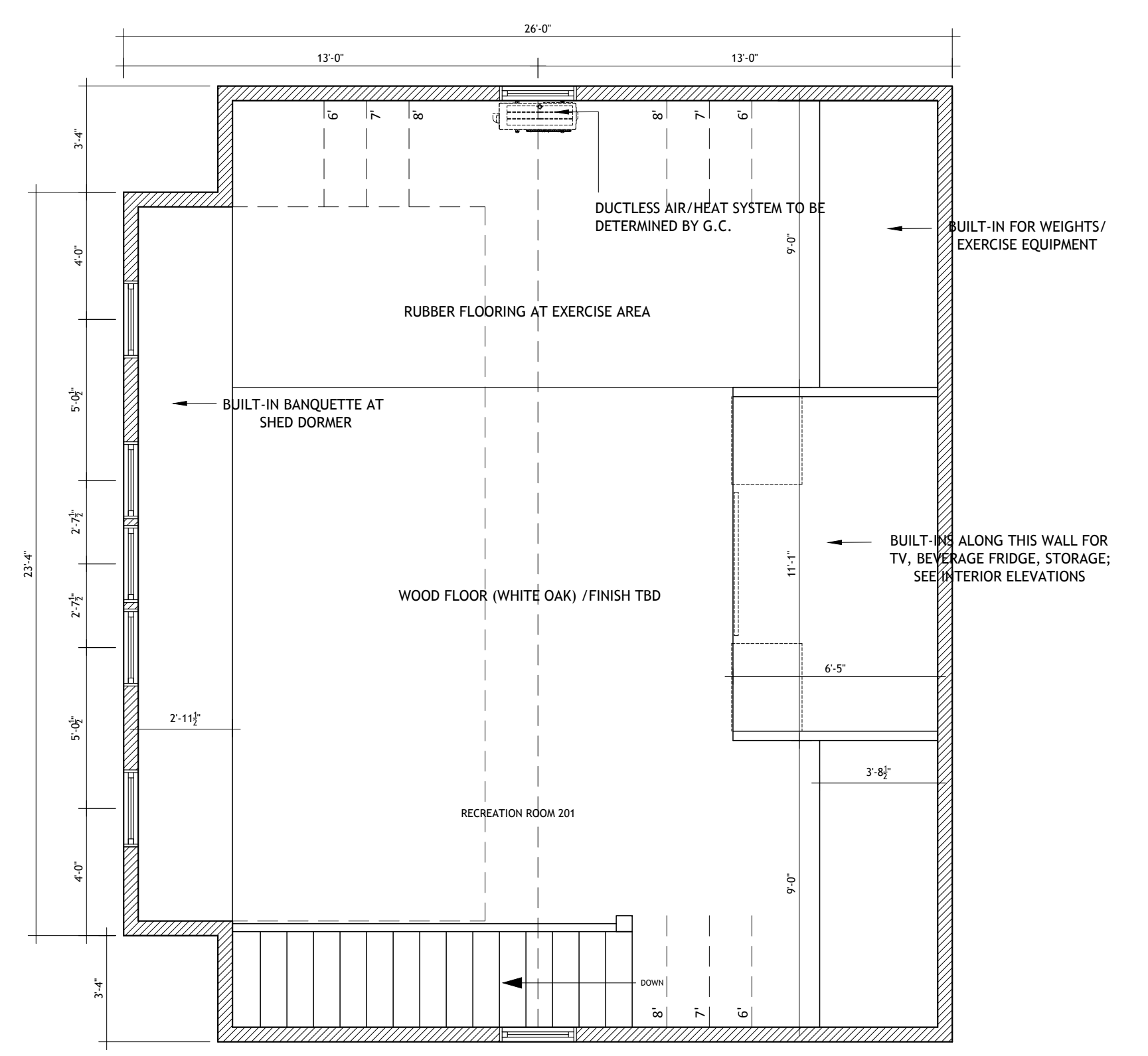
FIRST FLOOR PLAN
1/4"=1'-0"



C WEST
1/4"=1'-0"



D SOUTH
1/4"=1'-0"



SECOND FLOOR PLAN
1/4"=1'-0"

revisions

date	no.	revision

title

**GARAGE:
EXTERIOR ELEVATIONS &
FLOOR PLANS**

scale

AS NOTED

date

JANUARY 17,
2022

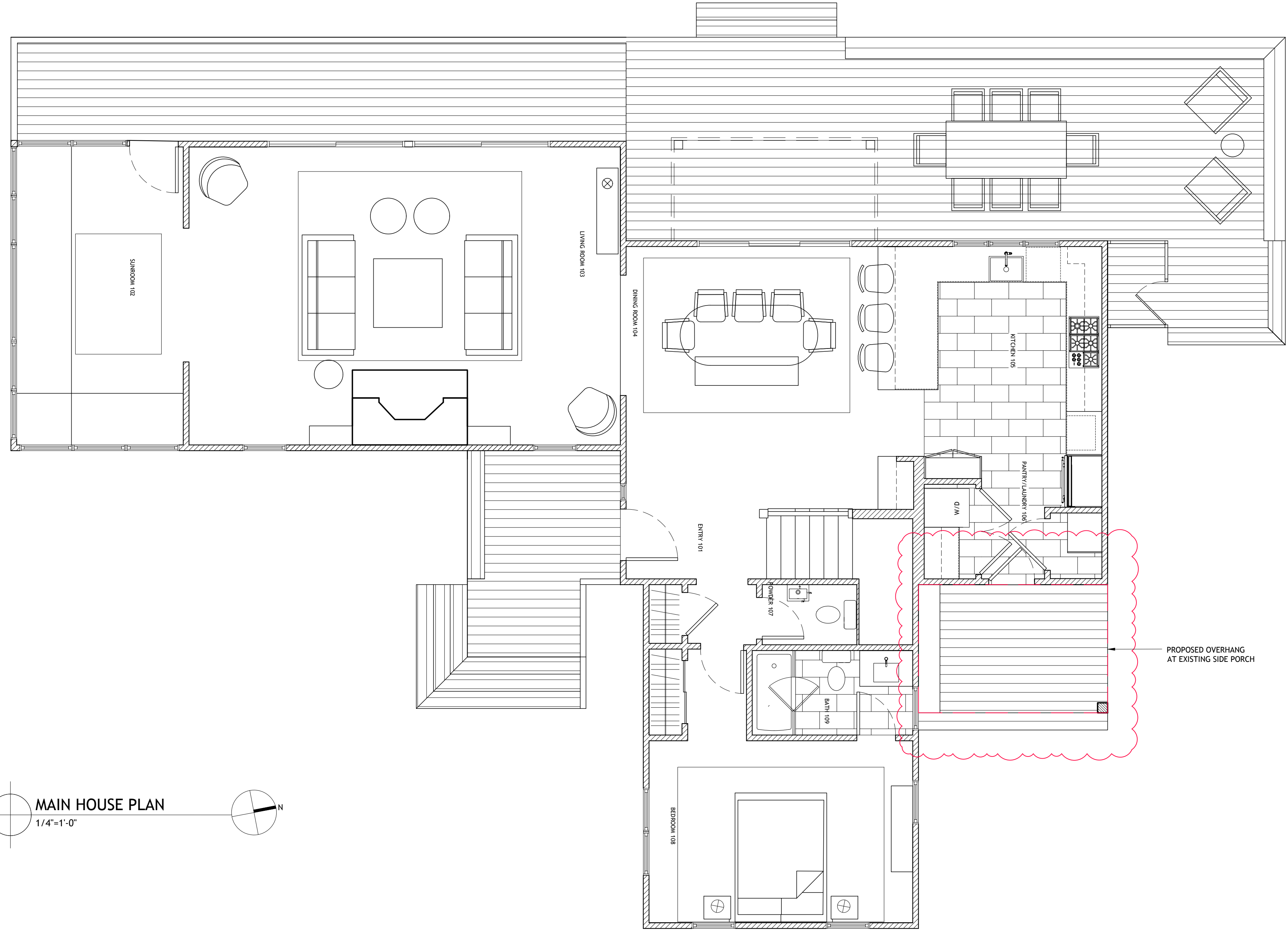
A-1

project

**458 NORTH ROAD
CHILMARK, MA**

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-GLASS SHOWER DOORS



MAIN HOUSE PLAN
1/4"=1'-0"

revisions

date	no.	revision

title

**PROPOSED OVERHANG AT
EXISTING SIDE PORCH:
MAIN HOUSE PLAN**

scale

AS NOTED

date

JANUARY 17,
2022

A-2

project

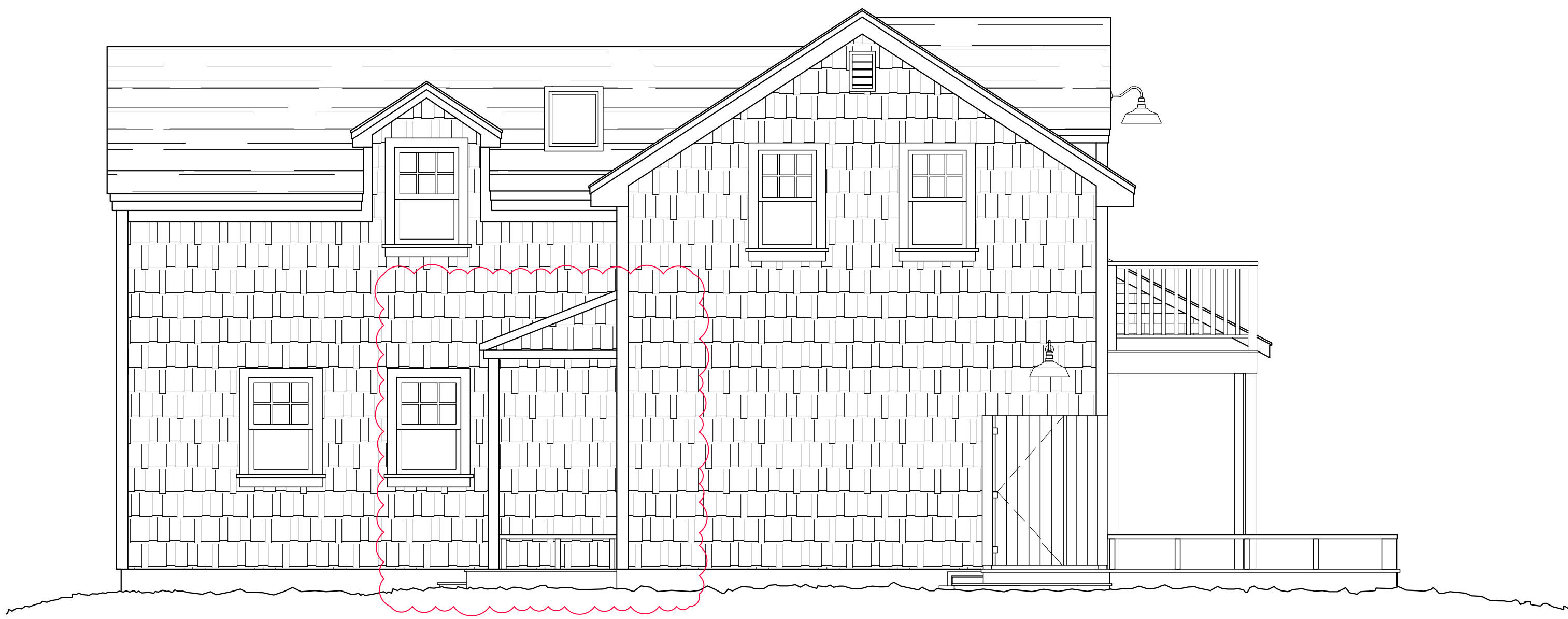
458 NORTH ROAD
CHILMARK, MA

notes

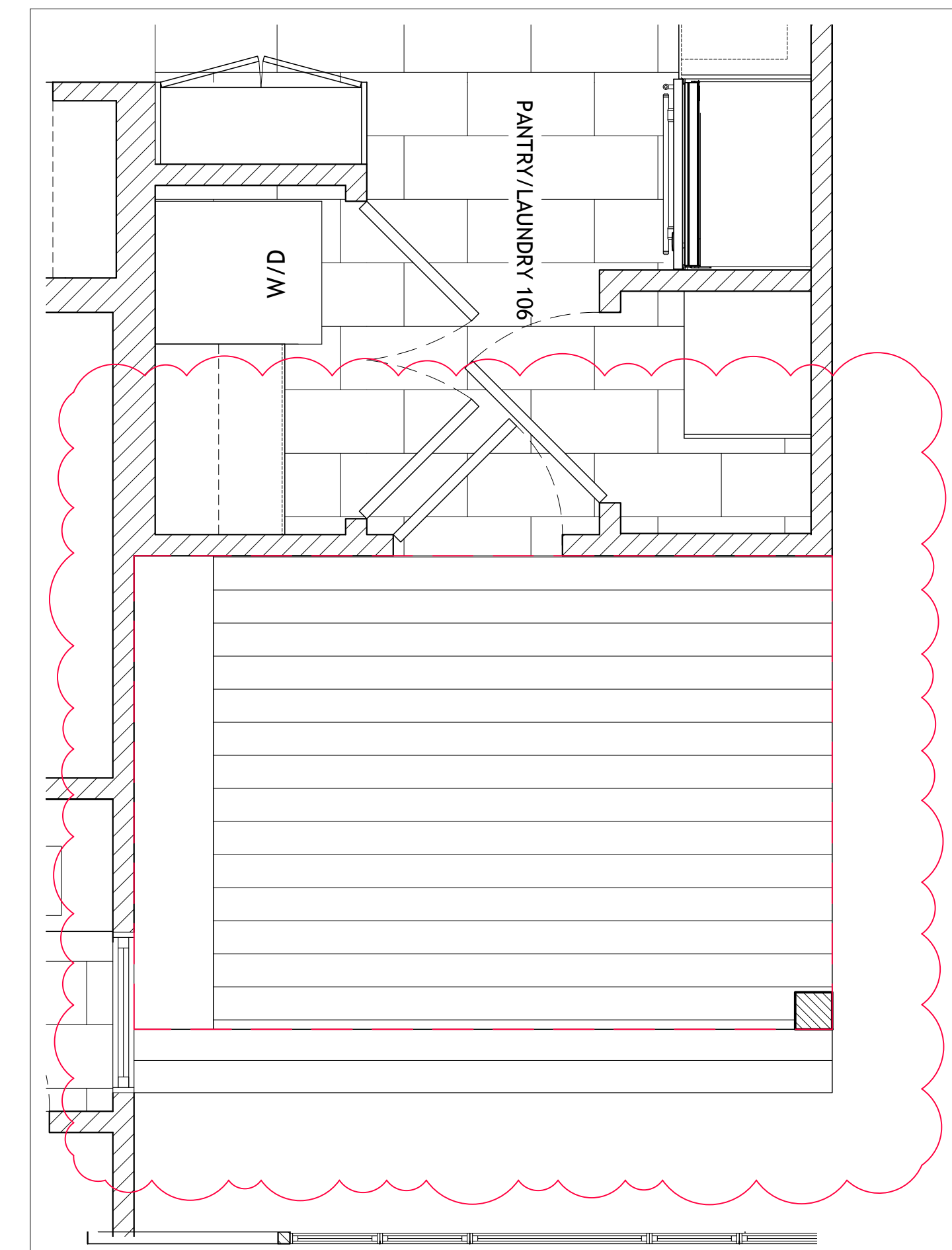
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A EAST ELEVATION: PROPOSED OVERHANG
1/4"=1'-0"



B NORTH ELEVATION: PROPOSED OVERHANG
1/4"=1'-0"



PROPOSED OVERHANG IN PLAN
1/2"=1'-0"

revisions

date	no.	revision

title

PROPOSED OVERHANG AT
EXISTING SIDE PORCH:
EXTERIOR ELEVATIONS
& PART PLAN

scale

AS NOTED

date

JANUARY 17,
2022

A-3

Dukes - 20/20 Perfect Vision i2 Document Detail Report

Current datetime: 1/27/2022 11:15:27 AM

Doc#	Document Type	Town	Book/Page	File Date	Consideration
464	ORDER		01612/88	01/27/2022	
Property-Street Address and/or Description					
1562/548, 012-0884					
Grantors					
HODEN ALAN G, AMEEN NANCY					
Grantees					
CHILMARK TOWN CONSERVATION					
References-Book/Pg Description Recorded Year					
01562/548 DEED 2021					
Registered Land Certificate(s)-Cert# Book/Pg					



2022 Trenching & landscaping w/in buffer

Massachusetts Department of Environmental
Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:012-0884
eDEP Transaction #:1337011
City/Town:CHILMARK

A. General Information

- 1. Conservation Commission CHILMARK
- 2. Issuance a. OOC b. Amended OOC
- 3. Applicant Details
 - a. First Name ALAN G./NANCY b. Last Name HODEN/AMEEN
 - c. Organization
 - d. Mailing Address C/O VLS, PO BOX 421
 - e. City/Town WEST TISBURY f. State MA g. Zip Code
- 4. Property Owner
 - a. First Name b. Last Name
 - c. Organization
 - d. Mailing Address
 - e. City/Town f. State g. Zip Code
- 5. Project Location
 - a. Street Address 458 NORTH ROAD
 - b. City/Town CHILMARK c. Zip Code
 - d. Assessors 26 e. Parcel/Lot# 55
 - Map/Plat#
 - f. Latitude 41.35345N g. Longitude 70.75574W
- 6. Property recorded at the Registry of Deed for:

a. County	b. Certificate	c. Book	d. Page
DUKES		1562	548
- 7. Dates

a. Date NOI Filed : 12/9/2021	b. Date Public Hearing Closed: 1/4/2022	c. Date Of Issuance: 1/19/2022
-------------------------------	---	--------------------------------
- 8. Final Approved Plans and Other Documents

a. Plan Title: PROPOSED SEPTIC SYSTEM ON LAND IN CHILMARK, MASS.
 b. Plan Prepared by: REID G. SILVA, PLS
 c. Plan Signed/Stamped by: 11/4/2021
 d. Revised Final Date:
 e. Scale:

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act
Following the review of the the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act.

Check all that apply:

- | | | |
|---|---|---|
| a. <input type="checkbox"/> Public Water Supply | b. <input type="checkbox"/> Land Containing Shellfish | c. <input checked="" type="checkbox"/> Prevention of Pollution |
| d. <input checked="" type="checkbox"/> Private Water Supply | e. <input type="checkbox"/> Fisheries | f. <input checked="" type="checkbox"/> Protection of Wildlife Habitat |

Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
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Provided by MassDEP:
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 eDEP Transaction #:1337011
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g. Ground Water Supply h. Storm Damage Prevention i. Flood Control

2. Commission hereby finds the project, as proposed, is:

Approved subject to:

a. The following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

Denied because:

b. The proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**

c. The information submitted by the applicant is not sufficient to describe the site, the work or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**

3. Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310CMR10.02(1)(a).

a. linear feet

Inland Resource Area Impacts:(For Approvals Only):

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	<u> </u> a. linear feet	<u> </u> b. linear feet	<u> </u> c. linear feet	<u> </u> d. linear feet
5. <input checked="" type="checkbox"/> Bordering Vegetated Wetland	250 <u> </u> a. square feet	<u> </u> b. square feet	0 <u> </u> c. square feet	<u> </u> d. square feet
6. <input type="checkbox"/> Land under Waterbodies and Waterways	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
	<u> </u> e. c/y dredged	<u> </u> f. c/y dredged		
7. <input type="checkbox"/> Bordering Land Subject to Flooding	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
Cubic Feet Flood Storage	<u> </u> e. cubic feet	<u> </u> f. cubic feet	<u> </u> g. cubic feet	<u> </u> h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	<u> </u> a. square feet	<u> </u> b. square feet		

Massachusetts Department of Environmental Protection
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Cubic Feet Flood Storage	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	c. cubic feet	d. cubic feet	e. cubic feet	f. cubic feet
9. <input type="checkbox"/> Riverfront Area	<u> </u>	<u> </u>		
	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	g. square feet	h. square feet	i. square feet	j. square feet

Coastal Resource Area Impacts:

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	<u> </u>	<u> </u>		
	a. square feet	b. square feet		
	<u> </u>	<u> </u>		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. c/y nourishment	d. c/y nourishment
14. <input type="checkbox"/> Coastal Dunes	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. c/y nourishment	d. c/y nourishment
15. <input type="checkbox"/> Coastal Banks	<u> </u>	<u> </u>		
	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	<u> </u>	<u> </u>		
	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	<u> </u>	<u> </u>		
	a. square feet	b. square feet		
	<u> </u>	<u> </u>		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	<u> </u>	<u> </u>		
	c. c/y dredged	d. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	<u> </u>	<u> </u>		
	a. square feet	b. square feet		

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22.

Restoration/Enhancement (For Approvals Only)

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c & d or B.17.c & d above, please entered the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

23.

Streams Crossing(s)

If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. the work is a maintenance dredging project as provided for in the Act; or
 - b. the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not exceed the issuance date of the original Final Order of Conditions.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.
8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work..

Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

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Provided by MassDEP:

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City/Town:CHILMARK

10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

" Massachusetts Department of Environmental Protection"
[or 'MassDEP']
File Number : "012-0884"

11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before Mass DEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.
17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

NOTICE OF STORMWATER CONTROL AND MAINTENANCE REQUIREMENTS

19. The work associated with this Order(the "Project") is (1) is not (2) subject to the Massachusetts Stormwater Standards. If the work is subject to Stormwater Standards, then the project is subject to the following conditions;
- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Construction General Permit as required by Stormwater Standard 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that: *i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all

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- construction period sediment trapped in inlet and outlet control structures; *ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized; *iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10; *iv.* all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition; *v.* any vegetation associated with post-construction BMPs is suitably established to withstand erosion.
- c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 19(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: *i.*) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and *ii.*) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.
- d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Multi-Sector General Permit.
- e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 19(f) through 19(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 19(f) through 19(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.
- f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.
- g) The responsible party shall:
1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the

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prior written approval of the issuing authority.

- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions:
SEE ATTACHED

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D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? Yes No

2. The Conservation Commission hereby (check one that applies):

a. DENIES the proposed work which cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw specifically:

1. Municipal Ordinance or Bylaw _____

2. Citation _____

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued. Which are necessary to comply with a municipal ordinance or bylaw:

b. APPROVES the proposed work, subject to the following additional conditions.

1. Municipal Ordinance or Bylaw _____
CHILMARK
WETLANDS
PROTECTION
BYLAWS

2. Citation 1.02

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows:
SEE ATTACHED

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E. Signatures

This Order is valid for three years from the date of issuance, unless otherwise specified pursuant to General Condition #4. If this is an Amended Order of Conditions, the Amended Order expires on the same date as the original Order of Conditions. 1/19/2022
1. Date of Original Order

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission. 1
2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures: Kara E. Shemeth
Kara E. Shemeth

by hand delivery on _____

by certified mail, return receipt requested, on 7019 0510 0002 1123 2232

Date _____

Date 1/19/22

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appelland.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or

CHILMARK CONSERVATION COMMISSION

Alan G. Hoden & Nancy Ameen

458 North Road (AP 26-55)

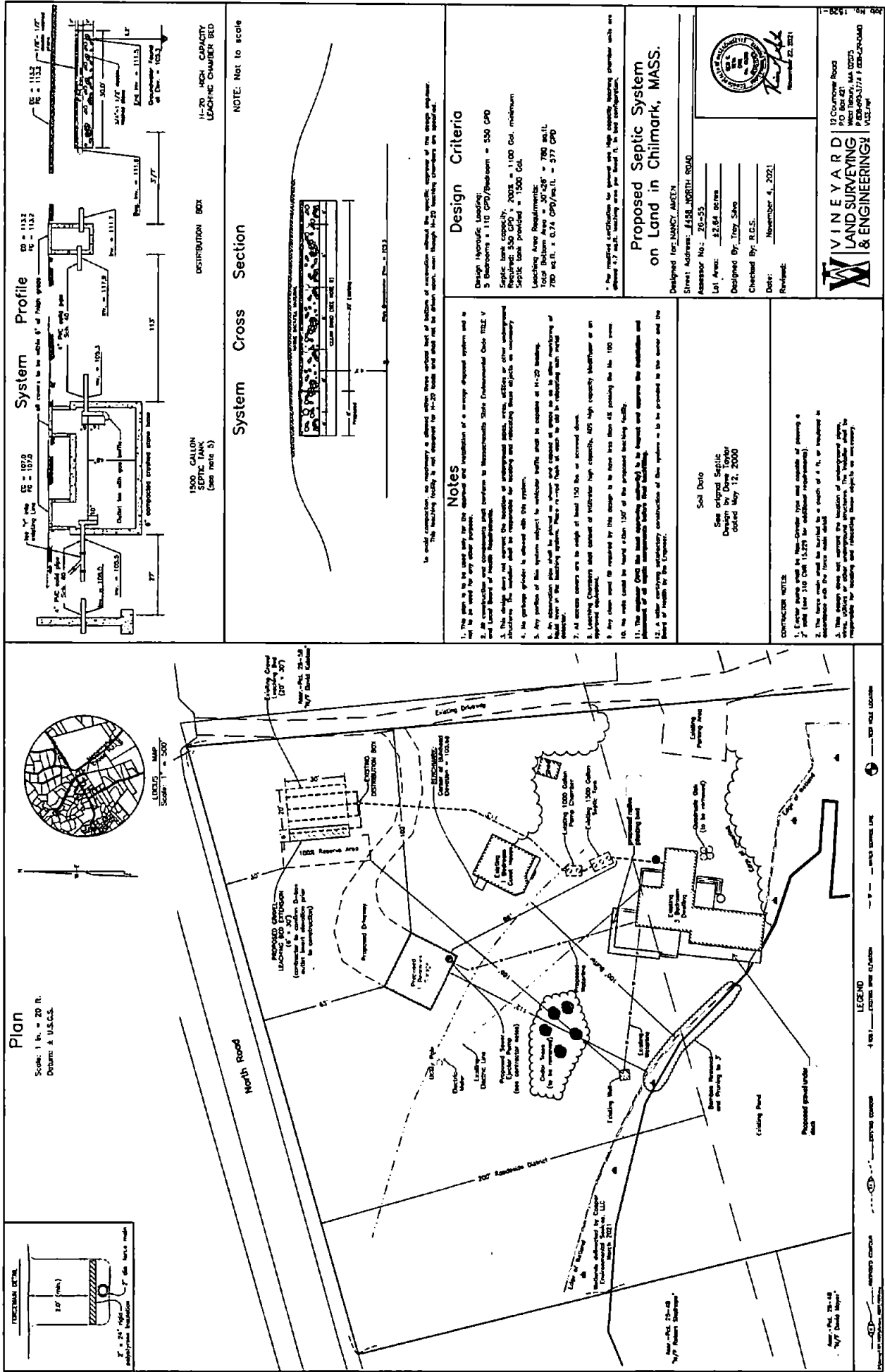
SE 12-884 - Special Conditions January 19, 2022

Synopsis

This Order of Conditions allows for trenching installation of a sewer line, waterline and utilities, select tree removal and invasive bamboo pruning/management in the 100' buffer. It also allows the installation of a native planting bed, the removal of existing garden area and restoration of that area to lawn, and for the installation of pea stone under existing deck to improve drainage.

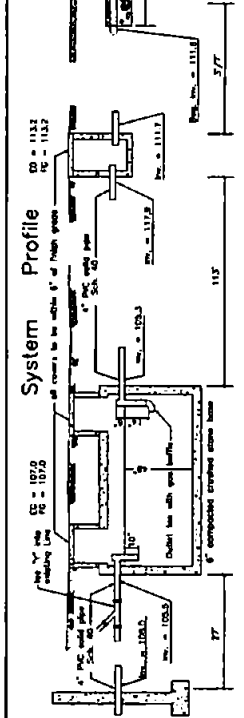
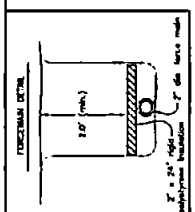
Conditions

1. A Landscape Plan will be reviewed and approved by the Conservation Commission. This is to include: a planting list, bamboo management plan and drainage/ erosion control plan (to address storm water run-off). The submitted plan shall reflect the renovated parking area/ stone wall.
2. An onsite meeting with the Conservation Agent shall take place with contractors prior to work beginning.
3. No herbicides or other chemicals will be utilized in the 100' buffer zone. This condition shall run in perpetuity and not expire with this Order or the issuance of a Certificate of Compliance.
4. A copy of this Order shall be available on site at all times while work is being done.



Plan

Scale: 1 in. = 20 ft.
Datum: ± U.S.C.S.



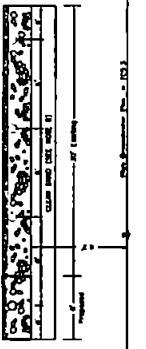
1500 GALLON SEPTIC TANK (see note 5)

DISTRIBUTION BOX

14x20 HIGH CAPACITY LEACHING CHAMBER BED

System Cross Section

NOTE: Not to scale



Design Criteria

Design Hydraulic Loading:
5 Bedrooms x 110 GPD/Bedroom = 550 CPD
Septic tank capacity:
Required: 550 CPD x 20% = 1100 Gal. minimum
Septic tank provided = 1500 Gal.
Leaching Area Requirements:
Total Bedroom Area = 30' x 25' = 750 sq.ft.
750 sq.ft. x 0.74 GPD/sq.ft. = 555 CPD

Notes

- The plan is to be used with the approved and registered site plan and specifications of a septic disposal system used in the area for any other purposes.
- All construction and components shall conform to Massachusetts State Environmental Code 802.0, V and Local Board of Health Regulations.
- The design does not warrant the installation of underground tanks, valves, sections or other underground structures. The installer shall be responsible for installing and maintaining these objects in conformity with the design.
- The septic system is intended to be installed with the system.
- An excavation shall be made to install a manhole and access to the septic tank and to the leaching chamber bed. The manhole shall be installed in the leaching chamber bed.
- All access covers are to comply with 150 lbs. of covered down.
- Leaching Chambers shall consist of perforated high capacity, 40% high capacity diffusers or an equivalent material.
- Any claim must be retained by the designer to have been made as shown on the plan for 100 years.
- The work shall be done within 10% of the proposed leaching facility.
- The engineer (and the local authority authority) to be required and approved the installation and placement of all earth construction facilities and buildings.
- A note covering satisfactory construction of this system is to be prepared by the owner and the Board of Health for the Engineer.

Soil Data
See original Septic Design by Dave Taylor dated May 12, 2000

CONTRACTOR NOTES

- Excavation shall be done in accordance with the plan and specifications of a septic disposal system used in the area for any other purposes.
- The septic system shall be installed in a depth of 4 ft. or greater in accordance with the local authority authority.
- The design does not warrant the installation of underground tanks, valves, sections or other underground structures. The installer shall be responsible for installing and maintaining these objects in conformity with the design.

Proposed Septic System on Land in Chilmark, MASS.

Designed for: NANCY ALBERT

Street Address: 1458 NORTH ROAD

Assessor No.: 276-55

Lot Area: 82.84 acres

Designed By: Troy Sabo

Checked By: R.C.S.

Date: November 4, 2021

Reviewed:



WINEYARD LAND SURVEYING & ENGINEERING
15 Courthouse Road
Westbury, MA 02757
P: 508-993-3774 F: 508-993-3775
WINEYARD

ATTEST: Paulo C. DeOliveira, Register
Dukes County Registry of Deeds