

Alison Kisselgof

From: william sullivan <chuck@sullivanassociatesarchitects.com>
Sent: Monday, June 14, 2021 10:40 AM
To: Alison Kisselgof; McGarry Vanessa; McGarry John
Subject: Re: McGarry continued hearing information
Attachments: 142-24 (2).pdf; 20M06-McGarry Screening Plan-2021.06.14.pdf; 20M06-McGarry Poolhouse-2021.06.10.pdf

Alison,

Attached are the revised site plan, screening plan and building drawings for the proposed pool and pool house at the McGarry's. There were four major adjustments made based on conversations with the Spring Point ARC:

1. The pool and pool house were moved 14' further away from the road, currently shown at 85' from the front property line.
2. The pool house roof was lowered 18", now 16' at the highest point.
3. The 'stockade' fence along the front property line has been revised to be a vertical cedar plank fence.
4. We've also indicated a few more cedar trees between the road and the fence.

As a result of the changes, the covered porch has been removed on the poolside of the pool house and the patio space has been relocated in that location.

Vineyard Land Surveying is planning on re-staking the new location this week so it should be ready for the site visit on June 23.

Please let me know if you need any full size copies sent out to you and if you need any other information.

Thank you very much.

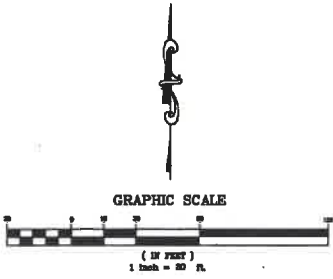
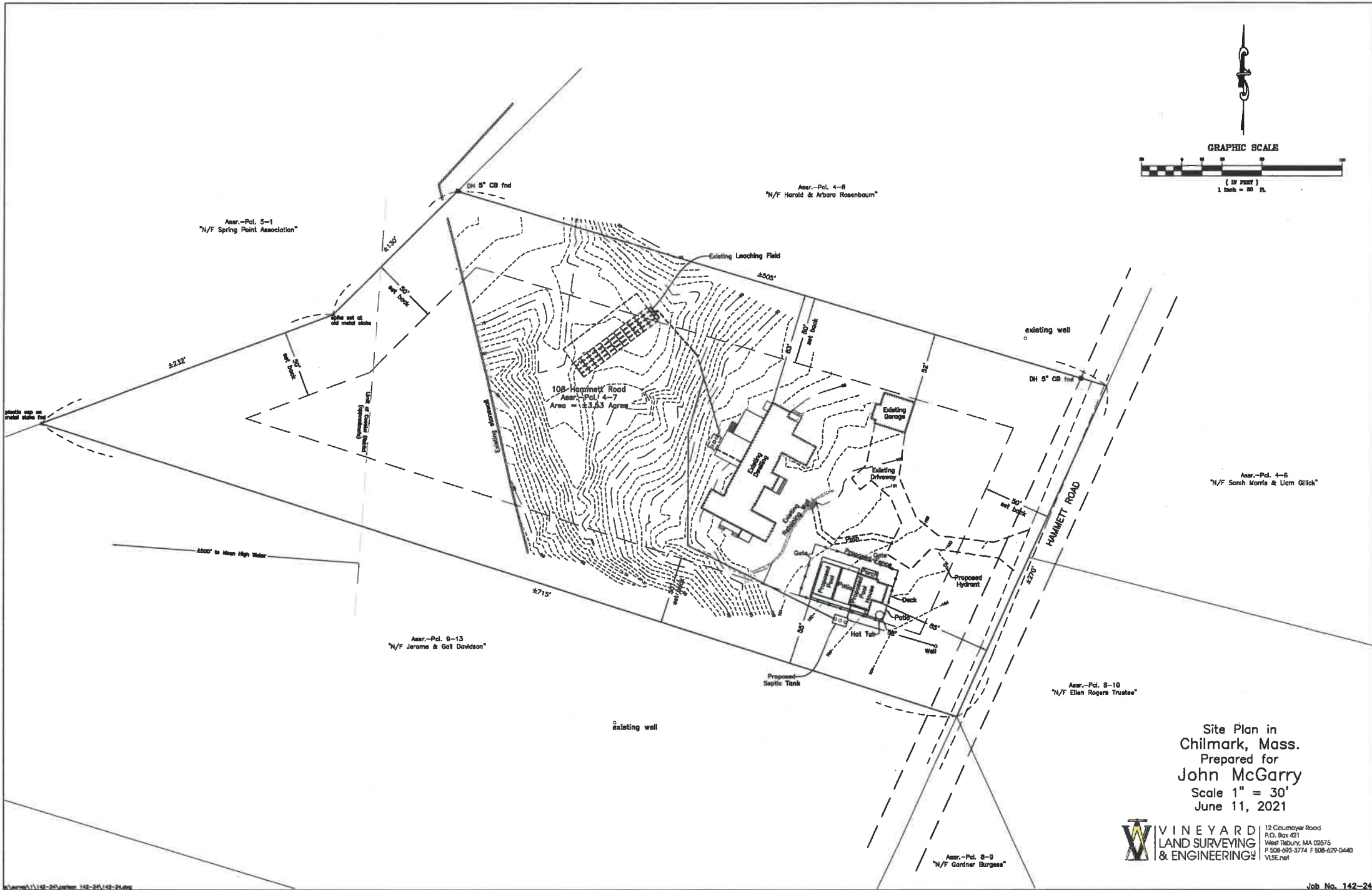
Chuck Sullivan
Principal | Architect

sullivan + associates architects
52 narragansett avenue | po box 989 | oak bluffs, ma 02557
office 508.693.0500 x2
mobile 617.347.8600
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On Thu, Jun 10, 2021 at 9:54 AM Alison Kisselgof <akisselgof@chilmarkma.gov> wrote:

Hi Chuck-

Thank you for the update.



Assr.-Pct. 5-1
"N/F Spring Point Association"

Assr.-Pct. 4-8
"N/F Harold & Arbara Rosenbaum"

108 Hammett Road
Assr.-Pct. 4-7
Area = 3.53 Acres

Assr.-Pct. 4-6
"N/F Sarah Moris & Liam Gillick"

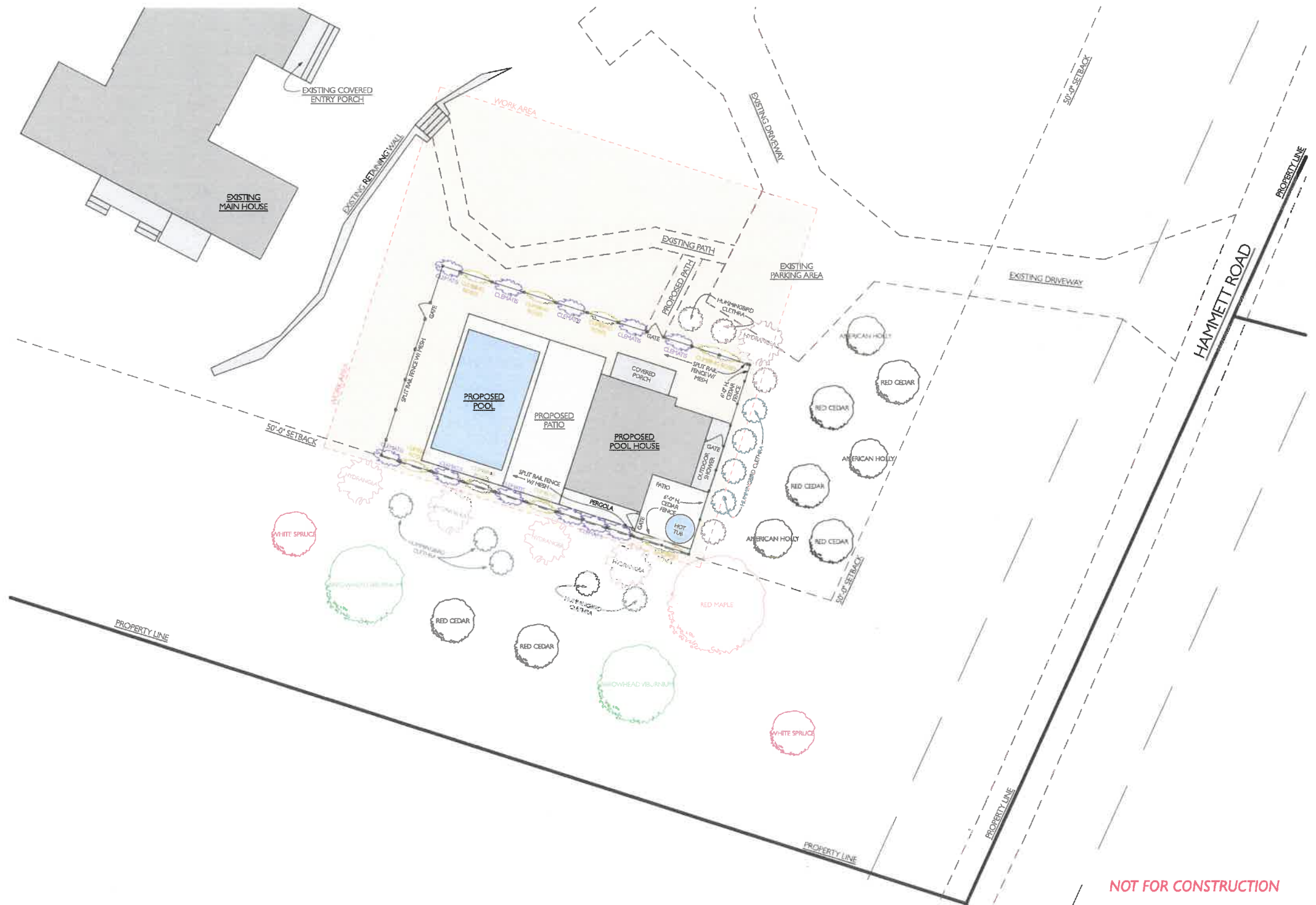
Assr.-Pct. 9-13
"N/F Jerome & Gail Davidson"

Assr.-Pct. 8-10
"N/F Ellen Rogers Trustee"

Assr.-Pct. 8-9
"N/F Gardner Burgess"

Site Plan in
Chilmark, Mass.
Prepared for
John McGarry
Scale 1" = 30'
June 11, 2021


VINEYARD
LAND SURVEYING
& ENGINEERING
12 Courmayeur Road
P.O. Box 421
West Tisbury, MA 02575
P 508-693-3774 F 508-629-0480
VLSE.net



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sullivan + associates
ARCHITECTS

508.693.0500
www.sullivan-assoc.com



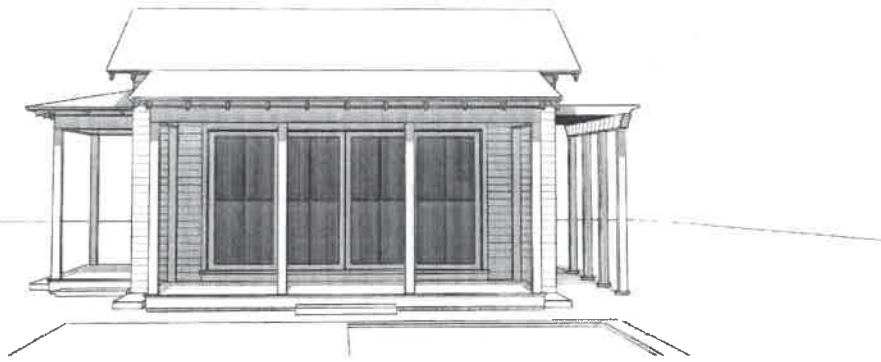
DATE:	02-23-21
PROJECT NAME:	MCGARRY POOL HOUSE
ADDRESS:	108 HAMMETT ROAD, CHILMARK MA
SUBJECT:	SCREENING PLAN
DRAWN BY:	MB
DATE:	2021-06-14
SCALE:	4-7
JOB #:	20M06
DRAWING #:	A-100

MCGARRY POOL HOUSE

108 HAMMETT ROAD, CHILMARK MA

sullivan + associates
ARCHITECTS

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CODE COMPLIANCE - TOWN OF TBD		
MCGARRY POOL HOUSE		
108 HAMMETT ROAD, CHILMARK MA		
DISTRICT = 11A		
	REQUIRED	ACTUAL
MINIMUM LOT SIZE	3 ACRES	3.53 +/- ACRES
FRONT SETBACK	50' MINIMUM	71'-0" +/-
SIDEYARD SETBACK	50' MINIMUM	54'-0" +/-
REARYARD SETBACK	50' MINIMUM	N/A
ROOF HEIGHT	24' MAX. FITTED	17'-6"
	13' MAX. FLAT	12'-9 1/2"
NOTES:		

WINDOW SCHEDULE - FOR PRICING ONLY								
MARK	QUANT.	TYPE	MANUF	MODEL#	LITES	FRAME SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
A	6	AWNING	TBD	TBD	4	2'-6"	3'-2"	
B	1	AWNING	TBD	TBD	4	2'-6"	2'-6"	
C	1	AWNING	TBD	TBD	4	2'-0"	2'-4"	
D	1	FIXED	TBD	TBD	4	5'-0"	7'-6"	

Notes:

Windows and Doors to be insulated Low-E argon-filled double-pane glass to meet or exceed energy performance U-Factor of 0.32.
 Window Manufacturer/Contractor to obtain sign-off from Architect on which units require tempered glass before placing order.
 Windows and Doors glazing are required to meet Wind-Borne Debris Region requirements for Large Missile Test of ASTM E-1886 and of ASTM E-1886.
 Garage door glazing opening protection for windborne debris shall meet the requirements of an approved impact-resistant standard or ANSI/DASMA 1.15.
 Wood structural panels constructed to meet code, shall be provided for all exterior glazed openings, and any existing openings as indicated on architectural plans (see detail W-02).
 Windows and Doors to meet required Design Pressures ratings for Wind Speed, Exposure Zone, and Roof Height listed on these drawings.
 Contractor to submit Manufacturer's Design Pressures ratings for sign-off approval on all windows and doors before placing order.
 Contractor to verify quantities before placing order.
 Contractor to obtain rough openings from manufacturer for framing.
 All Windows to be _____; Color: _____; Hardware: _____
 All Terrace Doors to be _____; Color: _____; Hardware: _____
 Terrace Door Interior to be _____; Color: _____; Hardware: _____

DOOR SCHEDULE - FOR PRICING ONLY								
MARK	QUANT.	TYPE	MANUF	MODEL#	LITES	UNIT SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
1	1	ENTRY DOOR	TBD	TBD		3'-4"	8'-4"	
2	1	YARD DOOR	TBD	TBD		15'-2 7/8"	8'-2 1/8"	WF POCKET
3	2	FRENCH DOOR	TBD	TBD		3'-4"	8'-0"	

SQUARE FOOTAGE	
NAME	AREA (SQFT)
PROPOSED FIRST FLOOR	500
	500 sq. ft.

DECK & PORCH SQUARE FOOTAGE	
NAME	AREA (SQFT)
PROPOSED DECK AND PORCH	373
	573 sq. ft.

ARCHITECTS
 SULLIVAN AND ASSOCIATES ARCHITECTS
 52 NARRAGANSETT AVENUE
 OAK BLUFFS MA, 02557
 (508) 693-0500

SEPTIC & SURVEYING ENGINEERING
 VINEYARD LAND SURVEYING & ENGINEERING, INC
 12 COURNOYER ROAD, P.O. BOX 421
 WEST TISBURY, MA 02575
 (508) 693-3774

SHEET INDEX		
ID	NAME	
A-101	POOL HOUSE PLAN	
A-201	EXTERIOR ELEVATIONS	
S-100	FOUNDATION PLAN & SECTIONS	

DATE OF ISSUE: 2021-02-22



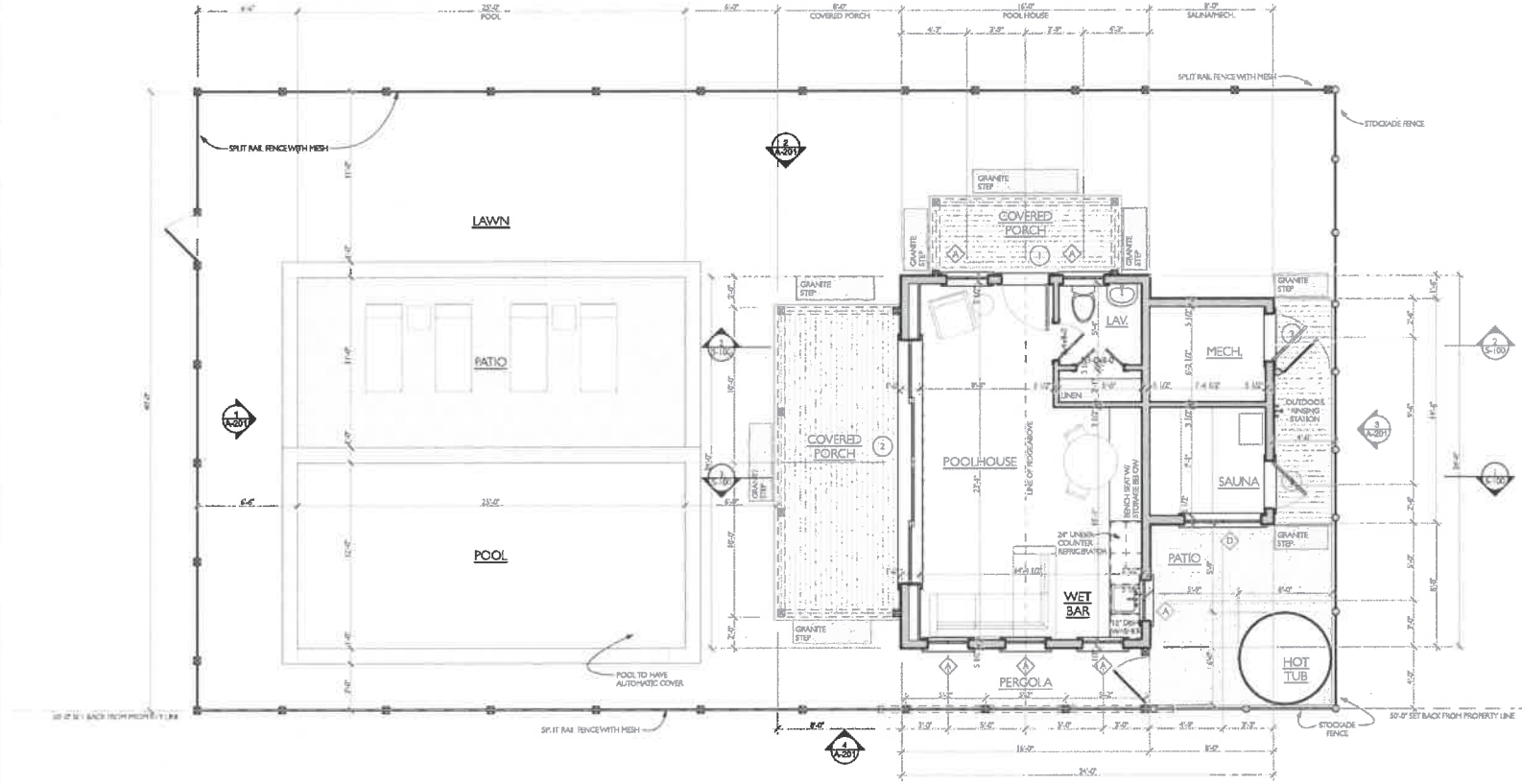
SPLIT-RAIL FENCE W/ MESH



SPLIT-RAIL FENCE W/ MESH



STOCKADE FENCE



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508.693.0500

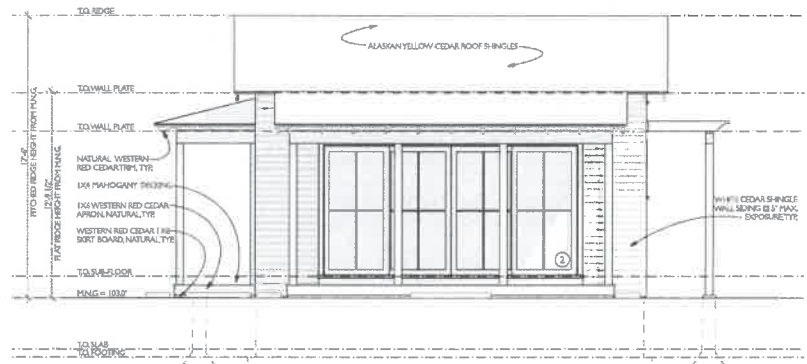
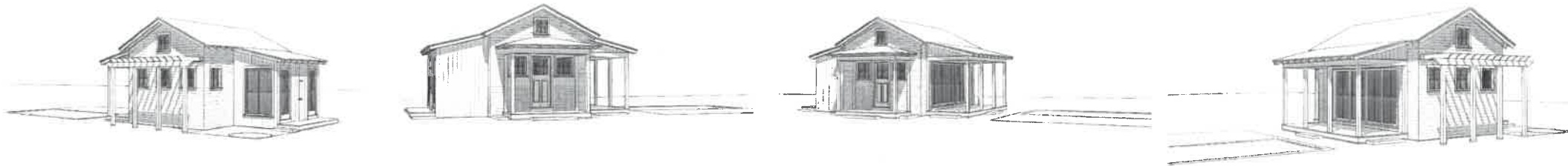
PROFESSIONAL ARCHITECT
STATE OF MASSACHUSETTS
REG. NO. 10000

SETS	DATE
23A APPLICATION	03-23-21

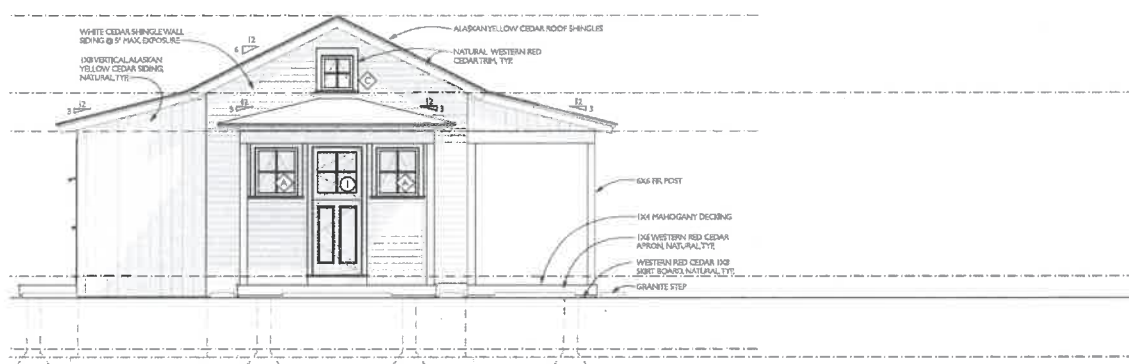
MCGARRY POOL HOUSE
108 HAMMETT ROAD, CHILMARK MA
POOL HOUSE PLAN

PROJECT NAME	MB
ADDRESS	DATE: 2021-02-22
SHEET TITLE	DRAWING: 4-7
	JOB #: 20MD6
	DRAWING #

A-101



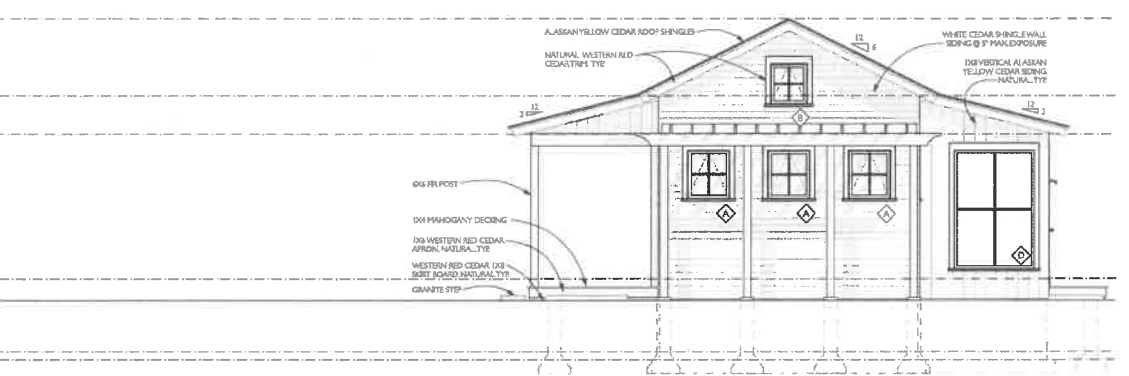
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



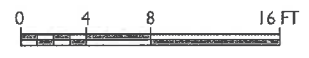
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



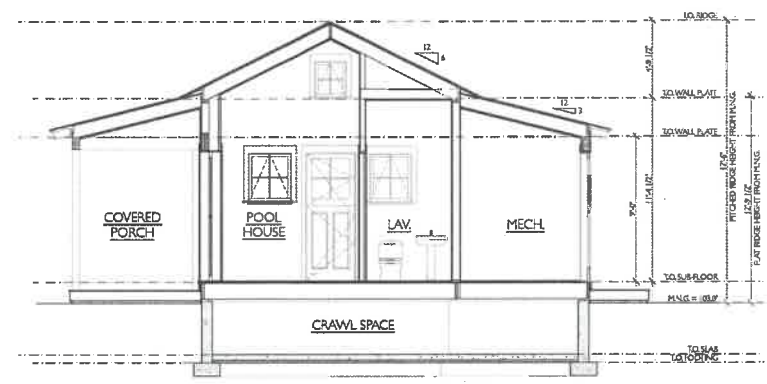
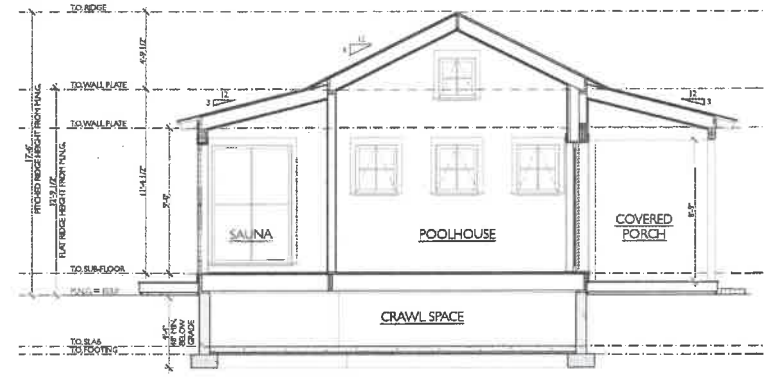
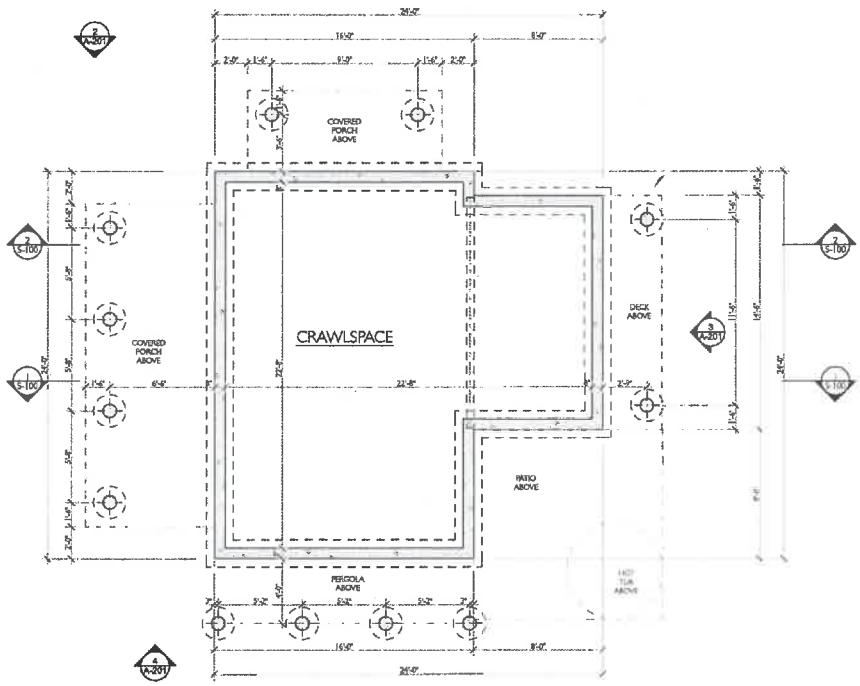
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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sullivan + associates
 ARCHITECTS
 508 693 0500
 100 STATE STREET, SUITE 200, BOSTON, MA 02109

PROJECT NAME:	MCGARRY POOL HOUSE
ADDRESS:	108 HAMMETT ROAD, CHILMARK MA
SHEET TITLE:	EXTERIOR ELEVATIONS
DATE:	2021-02-22
SCALE:	4-7
FOR #:	20106
DRAWN BY:	MB
DATE:	2021-02-22
SCALE:	4-7
FOR #:	20106
DRAWING #:	A-201



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SET:	DATE:
25A APPLICATION	03-23-21

PROJECT NAME	MCGARRY POOL HOUSE
ADDRESS	108 HAMMETT ROAD, CHILMARK MA
SHEET TITLE	FOUNDATION PLAN & SECTIONS

DRAWN BY:	MB
DATE:	2021-02-22
PLAN/SCALE:	4-7
JOB #:	20MD6
DRAWING #:	

S-100