

108 Hammett Road

Pool House Narrative - Section 4.2A.3 - February 23, 2021

Narrative for proposed 384 sqft pool house, 12'x24' swimming pool and 6' hot/cold dip

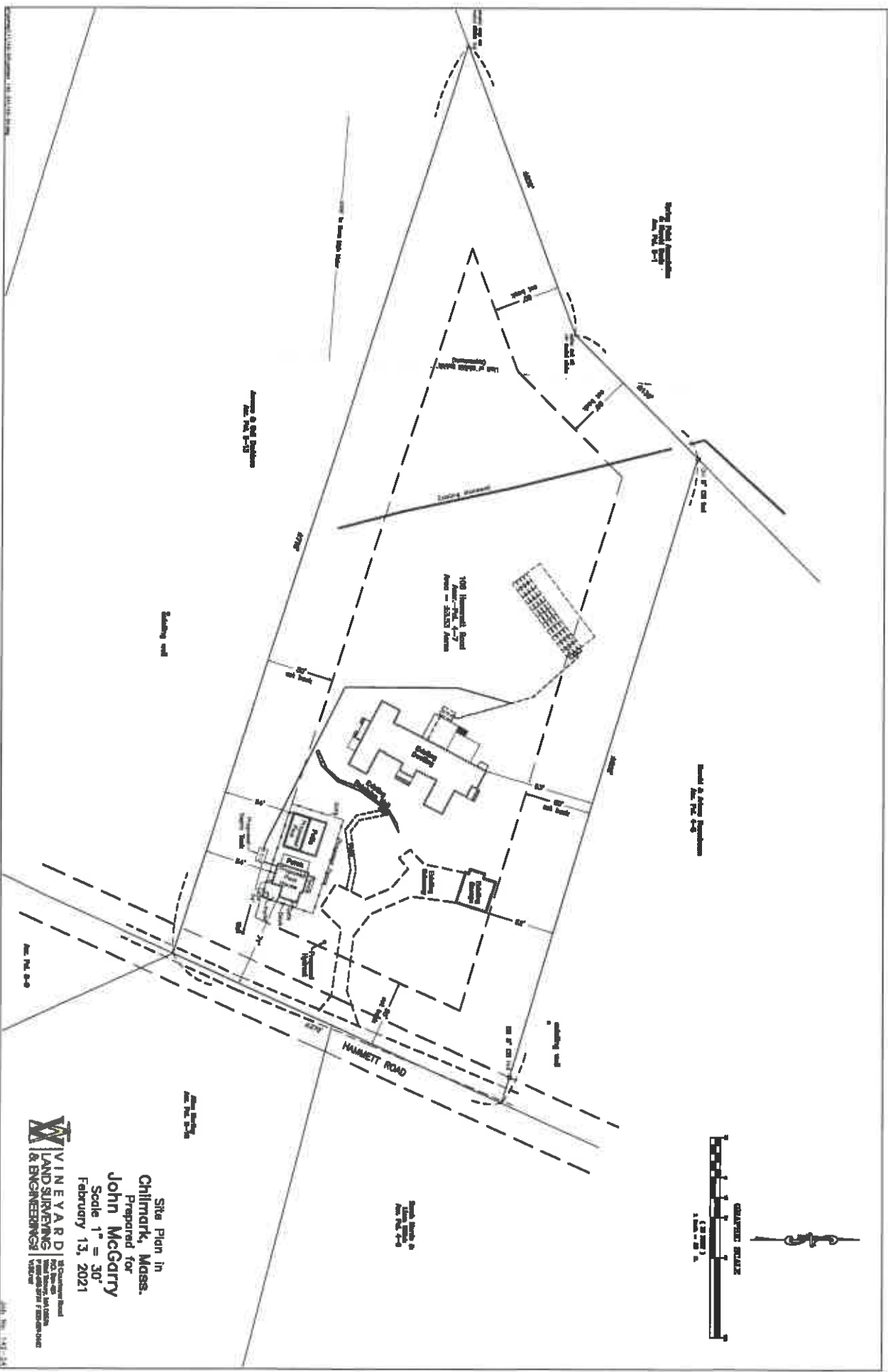
- a.) **Permitting and Enforcement:** A special permit application has been submitted for approval.
- b.) **Application:** The applicant/owner has owned the principal dwelling for more than two years.
- c.) **Use:** The swimming pool will only be used by the residents of the principal dwelling and their guests.
- d.) **Setbacks:** The pool house is located to meet the 50' setback requirements and at its closest point to the property line (South corner of Pool House) it is 54' from the property line. Related equipment will be located within the Mech. Room of the pool house which is within the setbacks.
- e.) **Enclosure:** The swimming pool enclosure surrounds the entire pool house, pool and hot/cold dip. See plans for locations and photos of the two types of fence proposed. One type of fence will be a stockade fence that is located along the west and part of the southern perimeter. The rest of the enclosure will be a split rail fence with mesh installed for safety.
- f.) **Location:** The pool and pool house are located within the set-backs of the South East corner of the 3.53 acre lot. The Pool House is a one story structure that will sit on a crawl space foundation. The highest ridge of the Pool House is 17.5' above Mean Natural Grade and the entire structure is within the 24' height restriction. The pool house and pool locations have been staked on the lot in order to assess that there is a clear line of sight from the from the primary residence to the pool.
- g.) **Covers:** Both the swimming pool and the hot/cold dip will have an automatic cover for safety when in off-season.
- h.) **Energy Use:** Heat for the pool and hot/cold dip will be supplied by solar or an alternative energy-efficient system.
- i.) **Light:** The pool and pool house will have lighting that complies with the Chilmark Zoning By-law Article 5, Section 5.5, 5.6 and 5.7. The pool will have submerged in-pool lights. The paths will have path lights. At the pool house the exterior lighting at the doors will be shielded and pointed downwards in order to minimize light trespass and decrease light pollution.
- j.) **Noise:** In order to comply with the Chilmark Zoning Bylaw Article 5, Section 5.9 the pool equipment and the mechanical systems for the pool house will be located in the Mech. Room which will be insulated for sound reduction.
- k.) **Screening and Landscaping:** Landscaping and screening will be installed to shield view of pool house and pool from public road.
- l.) **Fire Protection:** The proposed 12x25 pool would hold more than 7500 gallons of water. An accessible and functional standpipe with design, placement and operation to be approved by the Chilmark Fire Chief will be installed.
- m.) **Initial Filling:** The initial filling of the pool shall come from an off-site source and shall not occur until the pool is in compliance with e. Enclosure and the pool area may be safely secured.
- n.) **Drainage:** The concentration of potentially hazardous chemicals in the water must be significantly reduced and properly tested before any necessary draining of the pool water directly into the ground of the property.

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Site Plan in
 Chilmarrk, Mass.
 Prepared for
John McGarry
 Scale 1" = 30'
 February 13, 2021



1000 North Street
 Westborough, MA 01581
 (508) 853-1111
 www.wineyardland.com

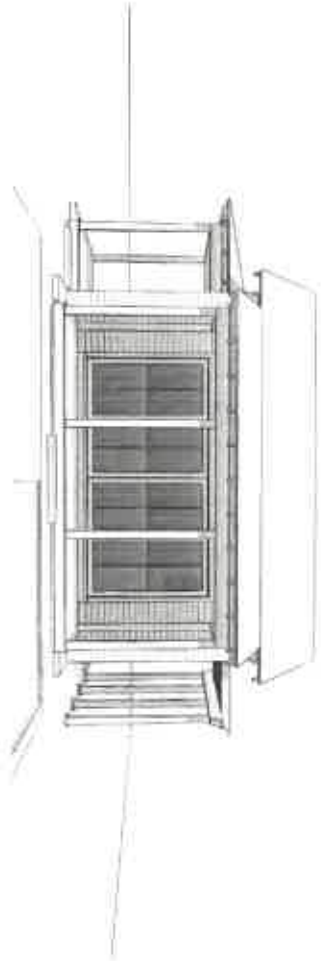
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MCGARRY POOL HOUSE

108 HAMMETT ROAD, CHILMARK MA

Sullivan Associates
 ARCHITECTS
 508 693 0500
 sullivanassoc@earthlink.net



GENERAL INFORMATION		GENERAL NOTES	
Project Name:	McGarry Pool House	Project No.:	2021-012
Client:	MCGARRY, MA	Architect:	SULLIVAN ASSOCIATES
Site Address:	108 HAMMETT ROAD, CHILMARK MA 01928	Project Date:	10/20/21
Site Area:	1.5 ACRES	Project Status:	PERMIT
Site Zoning:	R-1	Project Type:	POOL HOUSE
Site Orientation:	SEE PLAN	Project Description:	POOL HOUSE, 10' x 10'
Site Elevation:	SEE PLAN	Project Budget:	SEE PLAN
Site Contour:	SEE PLAN	Project Owner:	MCGARRY, MA
Site Utility:	SEE PLAN	Project Architect:	SULLIVAN ASSOCIATES
Site Access:	SEE PLAN	Project Designer:	SEE PLAN
Site Parking:	SEE PLAN	Project Engineer:	SEE PLAN
Site Landmark:	SEE PLAN	Project Photographer:	SEE PLAN

NO.	DESCRIPTION	UNIT	PRICE	TOTAL
1	POOL HOUSE	1	10,000	10,000
2	LANDSCAPE	1	5,000	5,000
3	PERMIT	1	1,000	1,000
4	CONTRACTOR	1	2,000	2,000
5	ARCHITECT	1	2,000	2,000
6	ENGINEER	1	2,000	2,000
7	INSURANCE	1	1,000	1,000
8	UTILITY	1	1,000	1,000
9	OTHER	1	1,000	1,000
10	TOTAL			25,000

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1	POOL HOUSE	1	10,000	10,000
2	LANDSCAPE	1	5,000	5,000
3	PERMIT	1	1,000	1,000
4	CONTRACTOR	1	2,000	2,000
5	ARCHITECT	1	2,000	2,000
6	ENGINEER	1	2,000	2,000
7	INSURANCE	1	1,000	1,000
8	UTILITY	1	1,000	1,000
9	OTHER	1	1,000	1,000
10	TOTAL			25,000

Notes:
 1. All work shall be in accordance with the Massachusetts State Building Code and all applicable local codes.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities.
 3. The contractor shall be responsible for coordinating with the utility companies for the location of all underground utilities.
 4. The contractor shall be responsible for protecting all existing structures and utilities on the site.
 5. The contractor shall be responsible for maintaining access to all adjacent properties at all times.
 6. The contractor shall be responsible for cleaning up the site after completion of work.
 7. The contractor shall be responsible for providing a final as-built drawing of the completed work.
 8. The contractor shall be responsible for providing a warranty on all workmanship and materials for a period of one year.
 9. The contractor shall be responsible for providing a final invoice to the owner upon completion of work.
 10. The contractor shall be responsible for providing a final report to the owner upon completion of work.
 11. The contractor shall be responsible for providing a final drawing set to the owner upon completion of work.
 12. The contractor shall be responsible for providing a final photograph set to the owner upon completion of work.
 13. The contractor shall be responsible for providing a final video set to the owner upon completion of work.
 14. The contractor shall be responsible for providing a final audio set to the owner upon completion of work.
 15. The contractor shall be responsible for providing a final document set to the owner upon completion of work.
 16. The contractor shall be responsible for providing a final data set to the owner upon completion of work.
 17. The contractor shall be responsible for providing a final image set to the owner upon completion of work.
 18. The contractor shall be responsible for providing a final video set to the owner upon completion of work.
 19. The contractor shall be responsible for providing a final audio set to the owner upon completion of work.
 20. The contractor shall be responsible for providing a final document set to the owner upon completion of work.

ARCHITECTS
 SULLIVAN ASSOCIATES
 52 NARRAGANSETT AVENUE
 ONE BLUFFS HA, 02577
 (508) 693-0500

ENGINEERING
 SULLIVAN ASSOCIATES
 12 CONSTITUTIONAL BOX 811
 WEST HAVEN, CT 06487
 (508) 693-5774

NO.	DESCRIPTION	DATE
1	POOL HOUSE	10/20/21
2	LANDSCAPE	10/20/21
3	PERMIT	10/20/21
4	CONTRACTOR	10/20/21
5	ARCHITECT	10/20/21
6	ENGINEER	10/20/21
7	INSURANCE	10/20/21
8	UTILITY	10/20/21
9	OTHER	10/20/21
10	TOTAL	10/20/21

DATE OF ISSUE: 2021-10-22



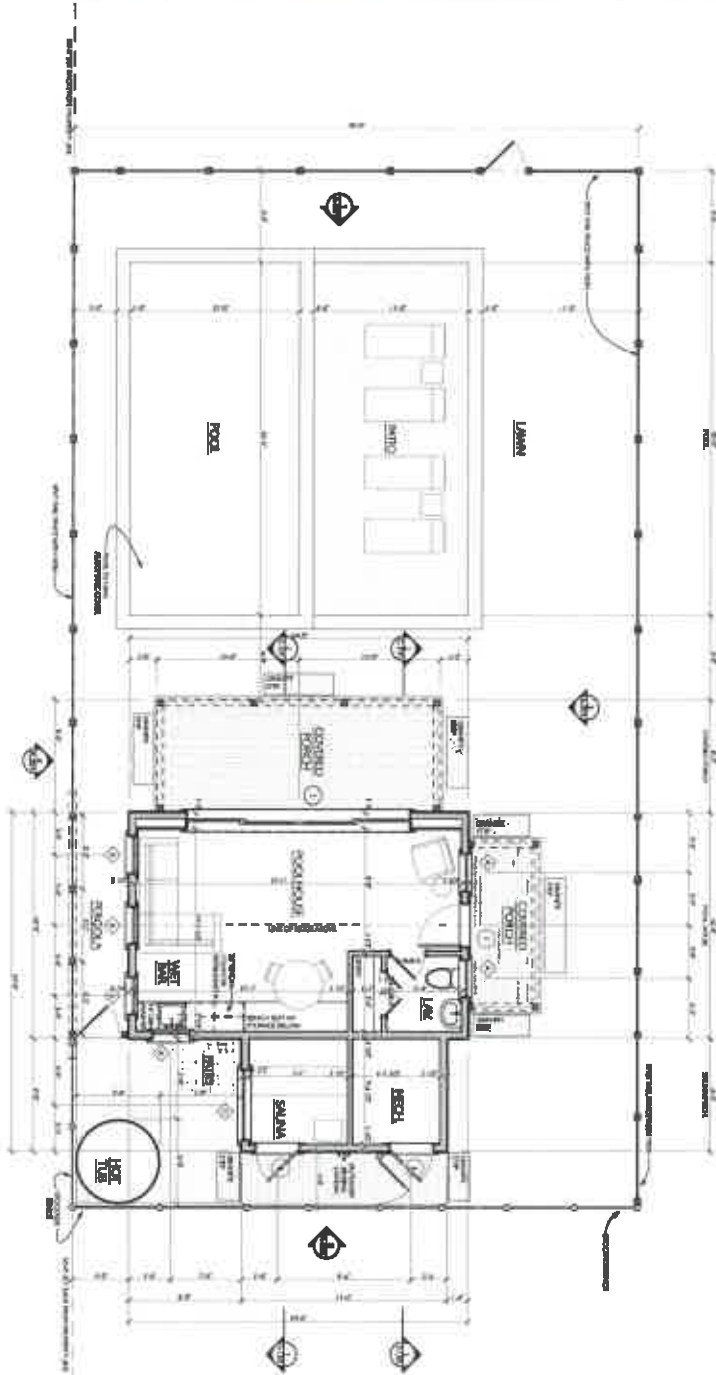
SPLIT-RAIL FENCE W/ MESH



SPLIT-RAIL FENCE W/ MESH



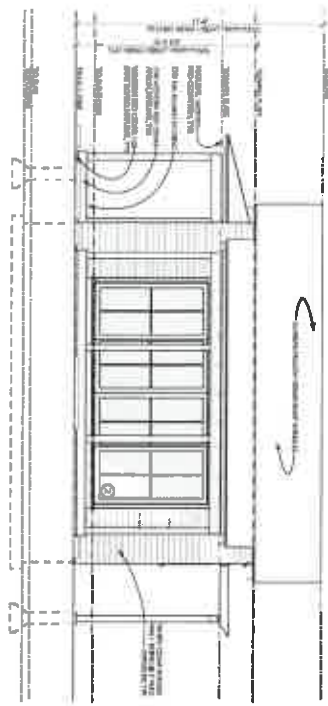
STOCKADE FENCE



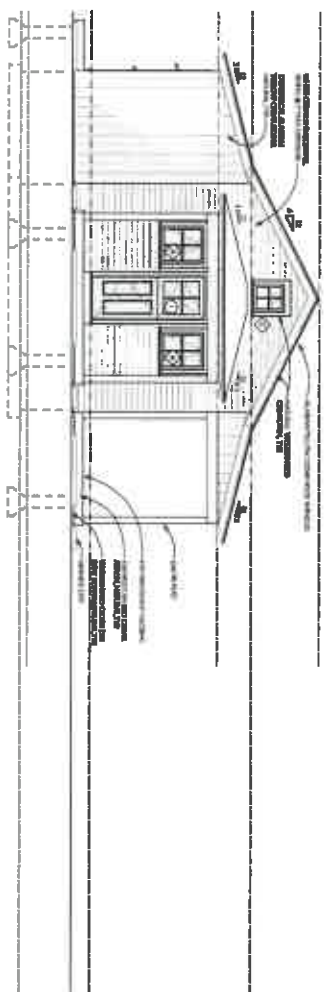
POOLHOUSE PLAN



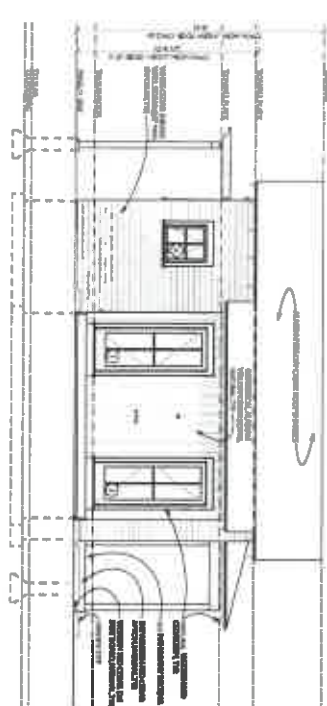
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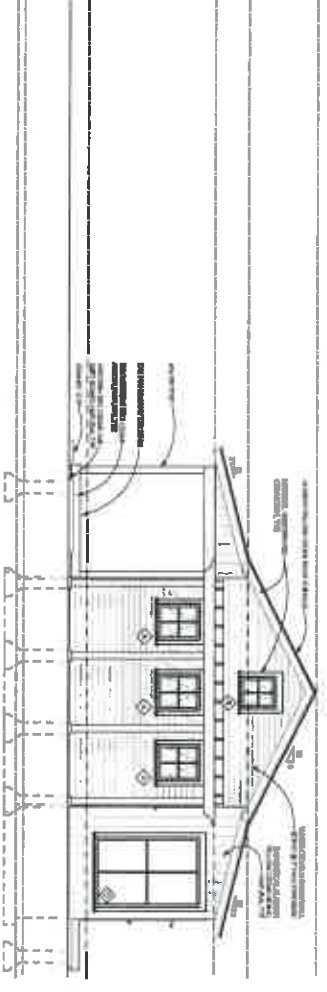
1 WEST ELEVATION



2 NORTH ELEVATION



3 EAST ELEVATION

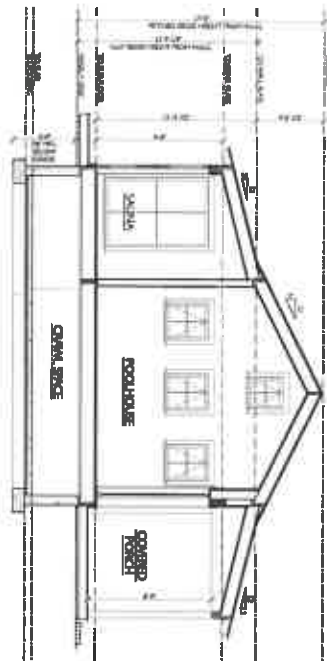
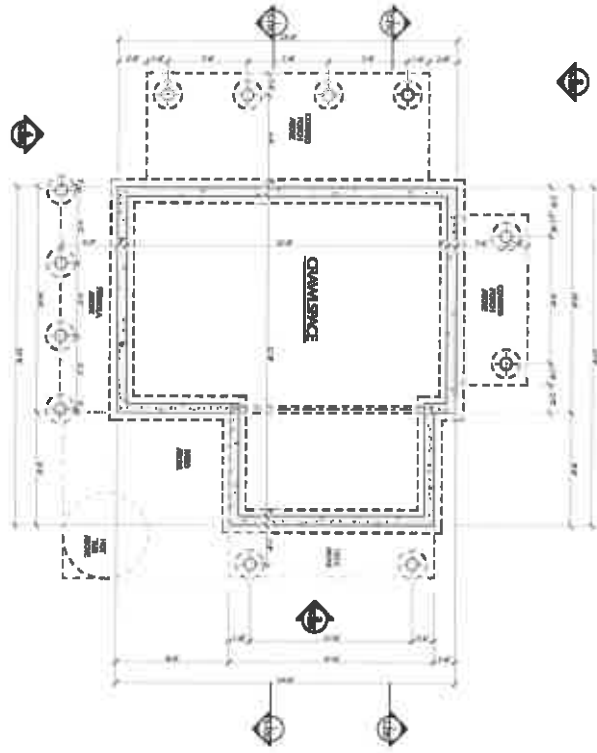


4 SOUTH ELEVATION

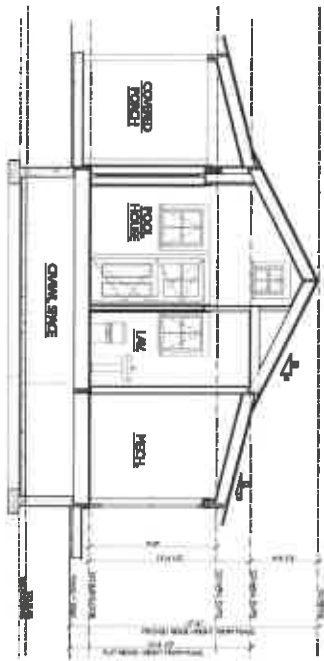


NOT FOR CONSTRUCTION

FOUNDATION PLAN
Scale: 1/8" = 1'-0"



1 SECTION - SOUTH



2 SECTION - NORTH



NOT FOR CONSTRUCTION