



# 36 Wintergreen Way

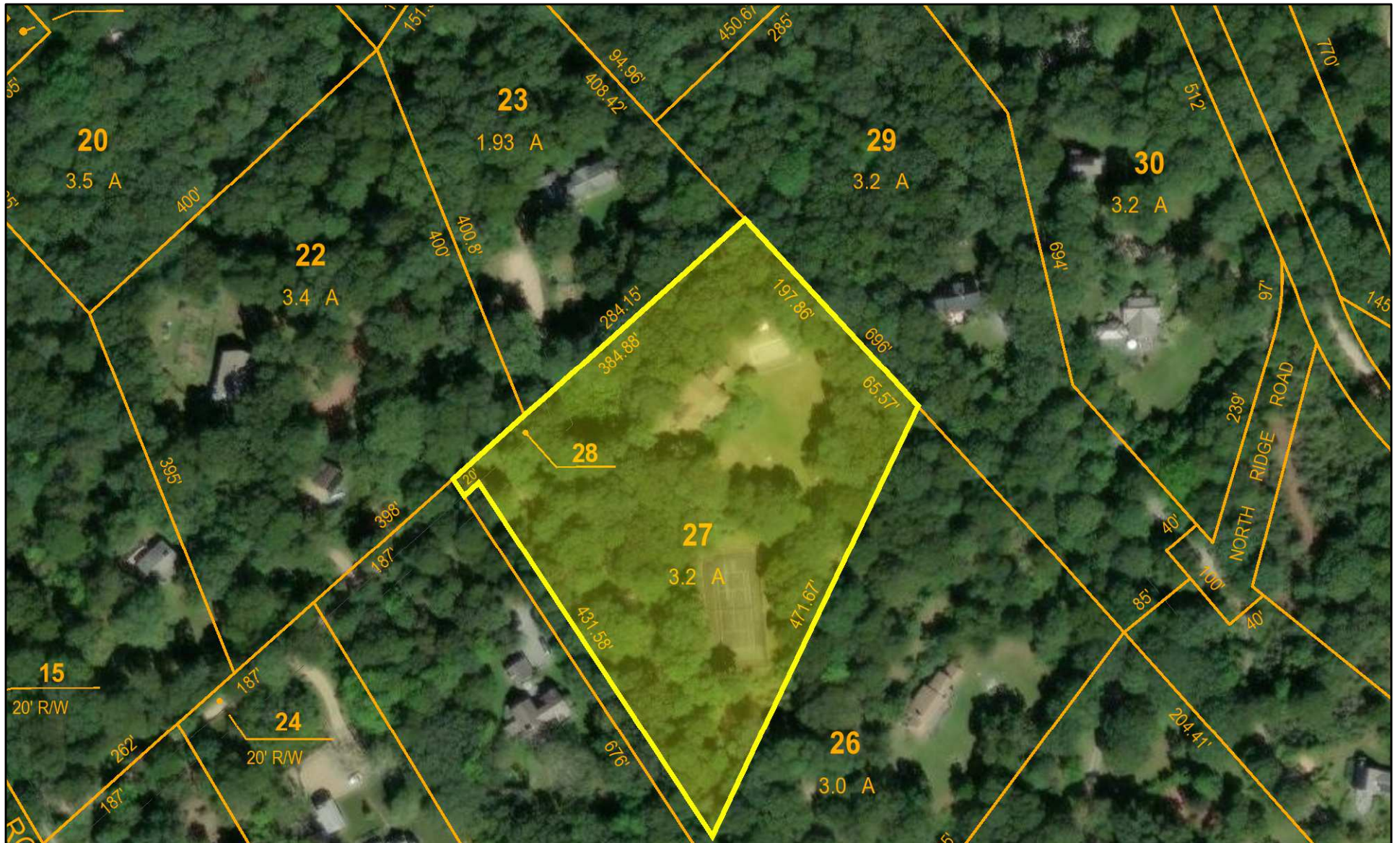
Chilmark, MA



December 4, 2023

1 inch = 141 Feet

[www.cai-tech.com](http://www.cai-tech.com)



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# ROTHSCHILD RESIDENCE

36 WINTERGREEN WAY, CHILMARK MA 02535

sullivan + associates  
ARCHITECTS

508 693 0500  
sullivanassociatesarchitects.com



**BUILDING CODE INFORMATION :**

BUILDING CODE:  
MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION

ENERGY CODE:  
2021 IECC (ADOPTED BY MASSACHUSETTS JANUARY 1, 2023)

**CODE COMPLIANCE : CHILMARK**

ROTHSCHILD RESIDENCE  
36 WINTERGREEN WAY, CHILMARK MA 02535  
MAP-PARCEL: 18-27  
DISTRICT = AR-III

	REQUIRED	ACTUAL
MINIMUM LOT SIZE	3 ACRE	3.20 ACRE
FRONT SETBACK	50' MINIMUM	EXISTING V.I.F.
SIDEYARD SETBACK	50' MINIMUM	EXISTING V.I.F.
REAR YARD SETBACK	50' MINIMUM	EXISTING V.I.F.
ROOF HEIGHT	24' MAX. PITCHED	EXISTING V.I.F.
	13' MAX FLAT	EXISTING V.I.F.

NOTES:

**SHEET INDEX**

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A-201	EXTERIOR ELEVATIONS - PROPOSED
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S-101	FOUNDATION PLAN - PROPOSED
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**SQFT. EX. TOTAL**

ID	STORY	NAME	AREA (SQFT)
Existing	1	Deck/Porch/Patio	43
Existing	1	First Floor	785
Existing	2	Second Floor	1,539
			2,367 ft <sup>2</sup>

**SQFT. PROP. TOTAL**

ID	STORY	NAME	AREA (SQFT)
New	1	Deck/Porch/Patio	86
New	1	First Floor	796
New	2	Deck/Porch/Patio	64
New	2	Roof Deck	686
			1,632 ft <sup>2</sup>

## PERMIT SET

2023-11-06



ARCHITECTS  
SULLIVAN AND ASSOCIATES ARCHITECTS  
52 NARRAGANSETT AVENUE  
OAK BLUFFS MA, 02557  
(508) 693-0500

STRUCTURAL ENGINEER  
MARTHA'S VINEYARD ENGINEERING & DESIGN  
79 BEACH ROAD  
VINEYARD HAVEN, MA 02568  
(774) 563-8535

CONTRACTOR  
FARLEY BUILT, INC.  
P.O. BOX 1491  
WEST TISBURY, MA 02575  
(508) 645-7800

SEPTIC & SURVEYING ENGINEER  
VINEYARD LAND SURVEYING & ENGINEERING, INC  
12 COURNOYER ROAD, P.O. BOX 421  
WEST TISBURY, MA 02575  
(508) 693-3774

## GLOSSARY

<p>@ - AT CL - CENTERLINE PL - PROPERTY LINE Ø - DIAMETER # - POUND OR NUMBER (E) - EXISTING (N) - NEW ABV - ABOVE ACC - ACCESS ACOUS - ACOUSTICAL AD - AREA DRAIN ADJ - ADJUSTABLE AFF - ABOVE FINISHED FLOOR AIB - AIR INFILTRATION BARRIER ALT - ALTERNATING APPROX - APPROXIMATE ARCH - ARCHITECT BD - BOARD BLDG - BUILDING BLKG - BLOCKING BM - BEAM B/O - BOTTOM OF B - BOTTOM BW - BOTHWAYS BP - BASE PLATE CAB - CABINET C.B. CATCH BASIN CEM - CEMENT CER - CERAMIC CIP - CAST-IN-PLACE CJ - CONTROL JOINT CLG - CEILING CLKG - CAULKING CL - CENTER LINE CLO - CLOSET CLR - CLEAR CMU - CONCRETE MASONRY UNIT CNTR - COUNTER COL - COLUMN CONC - CONCRETE CONN - CONNECTION CONT - CONTINUOUS CORR - CORRIDOR C.T. CERAMIC TILE CPT - CARPET / CARPETED CTR - CENTER DBL - DOUBLE DEMO - DEMOLITION DTL - DETAIL DEV - DEVELOPMENT DIA - Ø - DIAMETER DIM - DIMENSION DIR - DIRECTION DN - DOWN D/O - DOOR OPENING DR - DISHWASHER DW - DISHWASHER DWG - DRAWING E - EAST EA - EACH EAW - EACHWAY ECT - ETCETERA ELEV - ELEVATION ELEC - ELECTRICAL EMBED - EMBEDDED ENCL - ENCLOSURE ENG - ENGINEER EQ - EQUALLY EQUIP - EQUIPMENT</p>	<p>EST - ESTIMATE EXIST - EXISTING EXPO - EXPOSED / EXPOSURE EXT - EXTERIOR FD - FLOOR DRAIN FE - FIRE EXTINGUISHER FF - FIRST FLOOR FF - FINISH FLOOR TO FINISH FLOOR FIN - FINISH FDN - FOUNDATION FLASH - FLASHING FL FLOOR / FLOORING FLUOR - FLUORESCENT FO - FACE OF FOC - FACE OF CONCRETE FOIC - FURNISHED BY OWNER - INSTALLED BY CONTRACTOR FOM - FACE OF MASONRY FOS - FACE OF STUDS FOF - FACE OF FINISH FOS - FACE OF STUDS FR - FRAME FRPF - FIREPROOF FRPL - REPLACE FTG - FOOTING FT - FOOT OR FEET FLUR - FURRING FUT - FUTURE FW - FULL WIDTH FG - FINISH GRADE FND - FOUNDATION GA - GAUGE GALV - GALVANIZED GC - GENERAL CONTRACTOR GL - GLASS GLAM - GLUE-LAMINATED GR - GRADE GWB - GYPSUM WALL BOARD HB - HORSE BIB HC - HOLLOW CORE HDO - HIGH DENSITY OVERLAY HDR - HEADER HDWD - HARDWOOD HDWE - HARDWARE HEM - HEMLOCK HM - HOLLOW METAL HORIZ - HORIZONTAL HP - HIGH POINT HR - HOUR HT - HEIGHT HVAC - HEATING / VENTILATING / AIR CONDITIONING HW - HOT WATER ID - INSIDE DIAMETER IN - INCH INSUL - INSULATION INT - INTERIOR JB - JUNCTION BOX JF - JOINT FILLER JT - JOINT LSL - LAMINATED STRAND LUMBER LVL - LAMINATED VENEER LUMBER LAM - LAMINATE / LAMINATED LAV - LAVATORY LF - LINEAL FEET LOC - LOCATION LP - LOW POINT LT - LIGHT</p>	<p>MAS - MASONRY MAX - MAXIMUM M.B. - MACHINE BOLT M.C. - MEDICINE CABINET MDI - MEDIUM DENSITY FIBERBOARD MDO - MEDIUM DENSITY OVERLAY MECH - MECHANICAL MICAM - MICROLAM MEMB - MEMBRANE METL - METAL MFR - MANUFACTURER MIN - MINIMUM MISC - MISCELLANEOUS MTC - MOUNTED MAT - MATERIAL MUL - MULLION N - NORTH N/A - NOT APPLICABLE NIC - NOT IN CONTRACT NO - NUMBER NAT - NATURAL OA - OVERALL OIC - ON CENTER ODIA - OUTSIDE DIAMETER OD - OVERFLOW DRAIN OFF - OFFICE OH - OVERHEAD OPNG - OPENING OPP - OPPOSITE OPHD - OPPOSITE HAND PERF - PERFORATED PERP - PERPENDICULAR PL - PLATE PLAM - PLASTIC LAMINATE PLAS - PLASTER PLY - PLYWOOD PWL - PLYWOOD PNL - PANEL PR - PAIR PRCST - PRE-CAST PT - POINT PTD - PAINTED PTN - PARTITION PLY - PLYWOOD PSF - POUND PER SQUARE FOOT PSI - POUND PER SQUARE INCH  PSL - PARALLEL STRAND LUMBER PT - PRESSURE TREATED PTD - PAINTED R - RAISER RA - RETURN AIR RAD - RADIUS RB - RUBBER BASE RD - ROOF DRAIN RET - RETAINING REF - REFERENCE REFR - REFRIGERATOR REIN - REINFORCED REM - REMAINDER REQ - REQUIRED REV - REVISION / REVISIONS / REVISED RGR - REGISTER RH - RIGHT HAND RM - ROOM RO - ROUGH OPENING RVP - RADON VENT PIPE RWL - RAIN WATER LEADER</p>	<p>S - SOUTH SAF - SELF-ADHERED FLASHING SAM - SELF-ADHERED MEMBRANE S.C. - SOLID CORE SD - SMOKE DETECTOR SCHED - SCHEDULE SECT - SECTION SG - SAFETY GLASS SH - SHELF SIP - STRUCTURAL INSULATED PANEL MFR - MANUFACTURER SHR - SHOWER SHT - SHEET SHT.MTL - SHEET METAL MTD - MOUNTED SHT - SHEATHING SM - SIMILAR SL - SLAB S.O.G. - SLAB ON GRADE SPEC - SPECIFICATION SF - SECOND FLOOR S/F - SUBFLOOR SQIN - SQUARE INCHES SS - STAINLESS STEEL STA - STATION STD - STANDARD STL - STEEL STOR - STORAGE OH - OVERHEAD STAGG - STANGGERED STR - STRUCTURAL SUSP - SUSPENDED SYM - SYMMETRICAL T - TREAD TB - TOWEL BAR TC - TOP OF CURB TEL - TELEPHONE TER - TERRAZZO T &amp; G - TONGUE AND GROOZE TG - TEMPERED GLASS THK - THINK TO - TOP OF TOS - TOP OF SLAB / TOP OF STEEL TOW - TOP OF WALL TPH - TOILET PAPER HOLDER T - TOP T/B - TOP AND BOTTOM TBD - TO BE DETERMINED TBR - TO BE REMOVED TJ - ENGINEER JOIST TP - TOP PLATE TYP - TYPICAL UNO - UNLESS OTHERWISE NOTED VCT - VINYL COMPOSITION TILE VEN - VENEER VERT - VERTICAL VEST - VESTIBULE VF - VERIFY IN FIELD W - WITH W - WEST WRC - WESTERN RED CEDAR WC - WATER CLOSET WO - WOOD WF - WIDE FLANGE WH - WATER HEATER W/O - WITHOUT WN - WINDOW WP - WATERPROOF WR - WATER RESISTANT WT - WEIGHT Z.C.C. - ZINC COATED COPPER</p>
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## GENERAL NOTES

- CODES: ALL WORK SHALL CONFORM TO THE CURRENT MASSACHUSETTS STATE BUILDING CODES LISTED IN BUILDING CODE INFORMATION TABLE ON TITLE PAGE.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICT EXISTS.
- ALL FRAMING SHALL BE LEVEL, PLUMB, AND TRUE TO LINES SHOWN.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT BLOCKING, BAKING, AND JACKS REQUIRED FOR INSTALLATION.
- VERIFY LOCATION OF ALL EXISTING UTILITIES AND SLEEVING. CAP, MARK, AND PROTECT AS NECESSARY TO COMPLETE THE WORK. PROVIDE AS-BUILT PLAN OF ALL UTILITY LOCATIONS.
- NOTIFY OWNER 10 DAYS IN ADVANCE OF DEMOLITION.
- SET ALL TILES WITH JOINTS AS DIRECTED BY OWNER OR ARCHITECT. ALL TILES SHALL BE ACCURATELY ALIGNED AND TRUE TO PLANE.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- ALL PLUMBING AND VENTING SHALL BE ACCORDING TO LOCAL CODES.
- SERVICE WATER PIPES IN UNHEATED SPACES TO BE INSULATED.
- INSULATION IS TO BE PROVIDED AT ALL BATHROOMS AND AHU CLOSETS.
- PROVIDE FIREBLOCKING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
- PROVIDE DRAFT STOPPING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
- MOUNT ALL DOOR HARDWARE HANDSETS AT 36" TO CENTERLINE UNLESS OTHERWISE NOTED. VERIFY W/ ARCHITECT.
- USE PVC WASTE LINES FOR ALL PLUMBING IN CEILINGS AND WALLS.
- ALL INSULATION MATERIALS SHALL HAVE FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE-DEVELOPED RATING NOT TO EXCEED 450, PER MASSACHUSETTS STATE BUILDING CODE.
- CLEAR DEBRIS FROM ALL VENTILATION DRILL HOLES AND NOTCHES.
- ALL ELECTRICAL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AS WELL AS THE NATIONAL ELECTRIC CODE, MOST RECENT ADDITION.
- THE CONTRACTOR IS REQUIRED TO COORDINATE BETWEEN THE TRADES THE SEQUENCE OF THE CONSTRUCTION AND THE REQUIRED REVIEW AND APPROVALS FOR THE HOUSE TO BE CERTIFIED AS ENERGY STAR COMPLIANT.

## MATERIAL LEGEND

	GRADE		BLOCKING		DECK BOARD
	GRAVEL		STRUCTURAL FRAMING MEMBER		WOOD TRIM
	FOUNDATION WALLS PROPOSED		LVL		WOOD FLOORING
	FOUNDATION WALLS EXISTING		PLYWOOD SHEATHING/ SUB-FLOOR		CEDAR SHINGLES
	CMU BLOCK		GYPSUM BOARD		BRICK RUNNING BOND
	BRICK		RIGID INSULATION		PROPOSED WALLS
	STONE		SPRAY FOAM INSULATION		EXISTING WALLS
	STEEL		BATT INSULATION		

### WINDOW SCHEDULE - FOR PRICING ONLY

MARK	QUANT.	TYPE	MANUF.	MODEL#	LITES	FRAME SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
A	10	CASEMENT	ANDERSEN - A SERIES	ACW2844	1	2'-7 1/4"	4'-3 1/4"	
B	2	AWNING	ANDERSEN - A SERIES	AAN2034	1	1'-11 1/4"	3'-3 1/4"	

### DOOR SCHEDULE - FOR PRICING ONLY

MARK	QUANT.	TYPE	MANUF.	MODEL#	LITES	UNIT SIZE (NOT R.O.)		NOTES
						WIDTH	HEIGHT	
I	3	ENTRY DOOR	SIMPSON	77081	1	2'-8"	6'-8"	MAHOGANY (SAPEL), NO FACE-PIN OPTION, STAINED FINISH T.B.D., LOW-E CLEAR GLASS, OVOLO STICKING, FLAT PANEL

### NOTES:

Windows and Doors to be insulated Low-E argon-filled double-pane glass to meet or exceed energy performance U-Factor of 0.32. Window Manufacturer/Contractor to obtain sign-off from Architect on which units require tempered glass before placing order. Windows and Doors glazing are required to meet Wind Borne Debris Region requirements for Large Missile Test of ASTM E 1996 and of ASTM E 1886. Garage door glazed opening protection for windborne debris shall meet the requirements of an approved impact resisting standard or ANSI/DASMA 115. Wood structural panels constructed to meet code, shall be provided for all exterior glazed openings, and any existing openings as indicated on architectural plans (See detail W-02) Windows and Doors to meet required Design Pressures ratings for Wind Speed, Exposure Zone, and Roof Height listed on these drawings. Contractor to submit Manufacturer's Design Pressures ratings for sign-off approval on all windows and doors before placing order. Contractor to verify quantities before placing order. Contractor to obtain rough openings from manufacturer for framing.

### GLASS

HEAT SMART DOUBLE GLAZED 3MM THICKNESS BLACK SPACER

Exterior Profile: T.B.D. Interior Profile: T.B.D.

### EXTEIOR FINISH:

Material: CLAD Color: T.B.D.

### INTERIOR FINISH:

Material: T.B.D. Color: T.B.D.

### HARDWARE:

Finish: T.B.D. Awning/Casement Style: T.B.D. Hinged Door Style: T.B.D. Sliding Door Style: T.B.D.

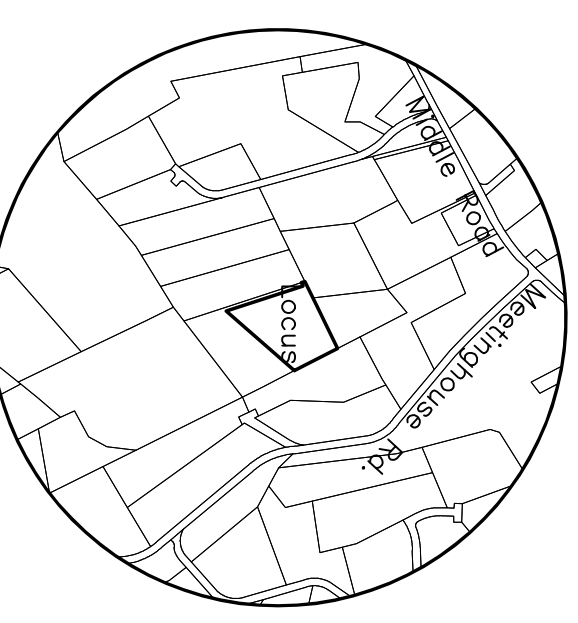
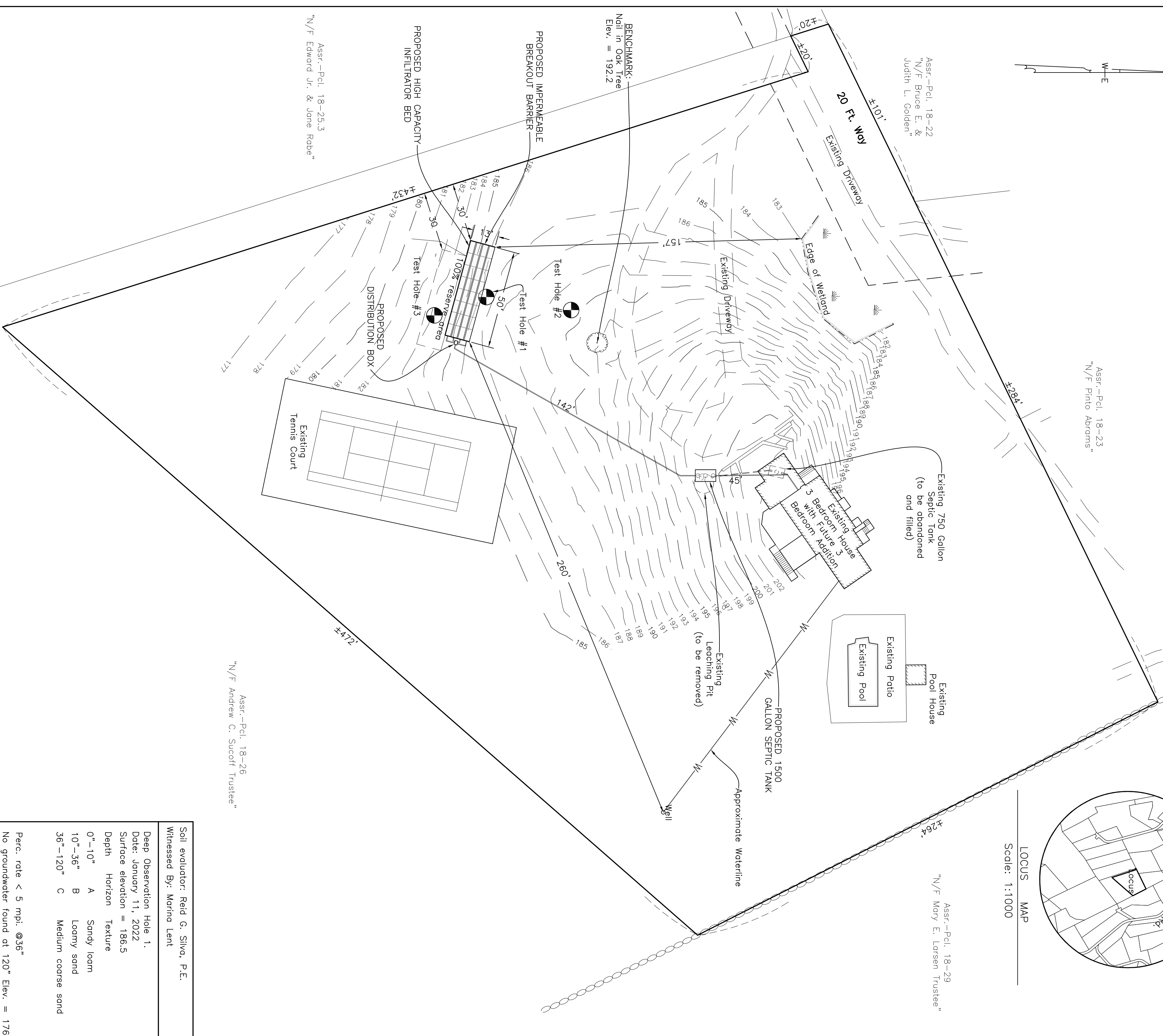
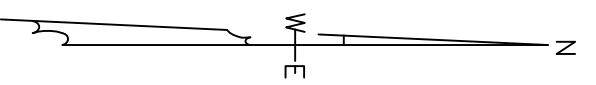


SET:	DATE:
PROGRESS PRINT	2023.11.02
PERMIT SET	2023.11.06

PROJECT NAME:	ROTHSCHILD RESIDENCE
ADDRESS:	36 WINTERGREEN WAY, CHILMARK MA 02535
SHEET TITLE:	GENERAL NOTES PROJECT DATA
DRAWN BY:	MA/DL/NG
DATE:	2023-11-06
MAP/PARCEL:	
JOB #:	18-27
DRAWING #:	23R03
<h1>A-001</h1>	

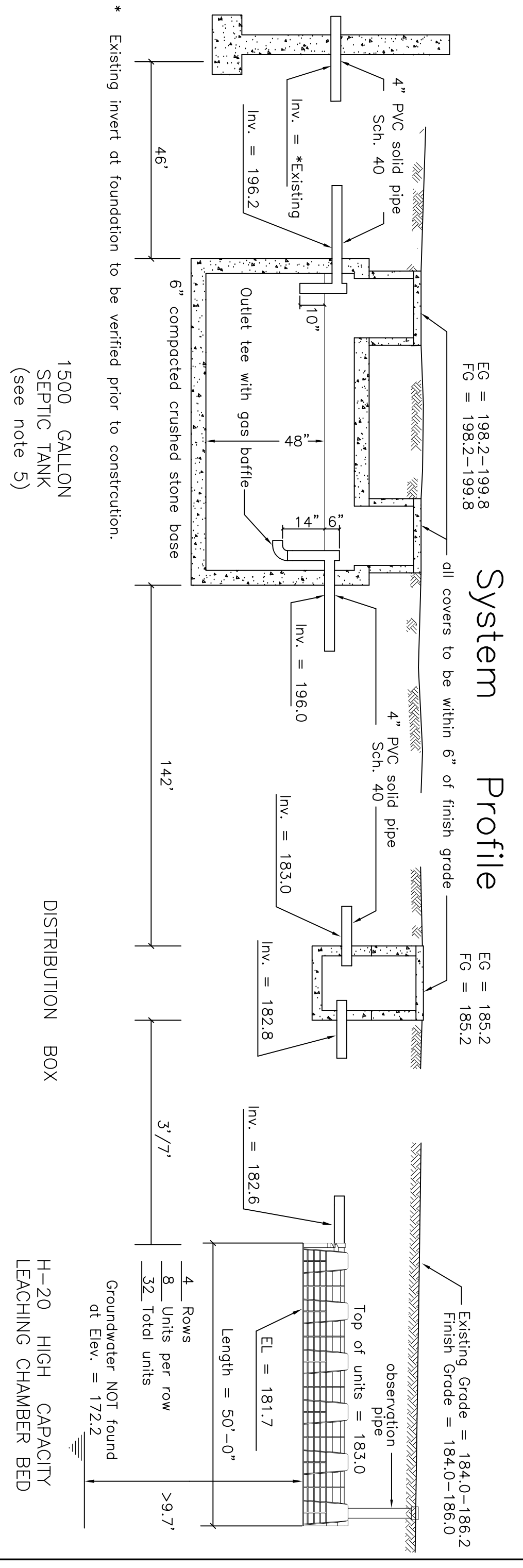
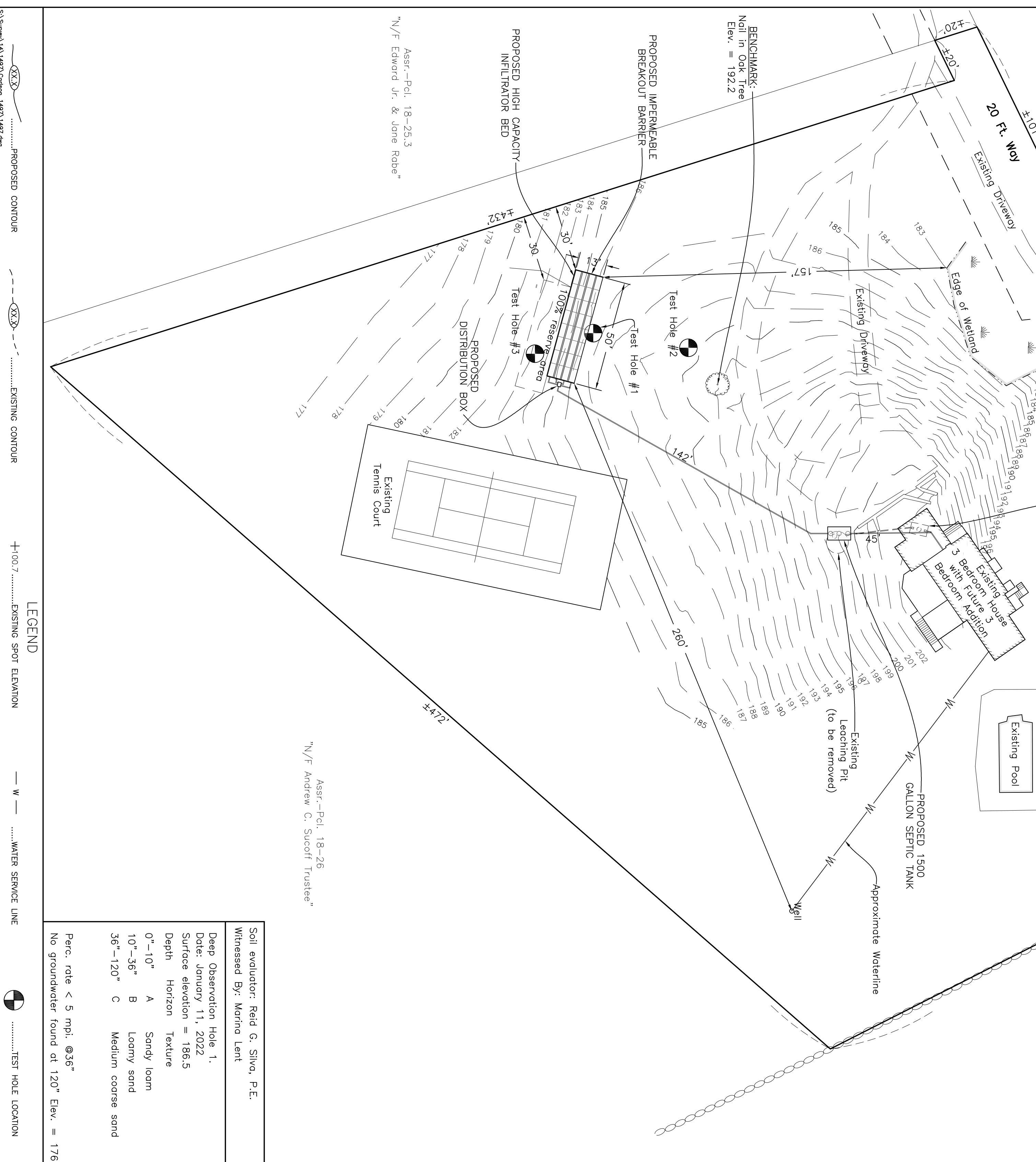
# Plan

Scale: 1 in. = 30 ft.  
Datum: ±U.S.G.S.



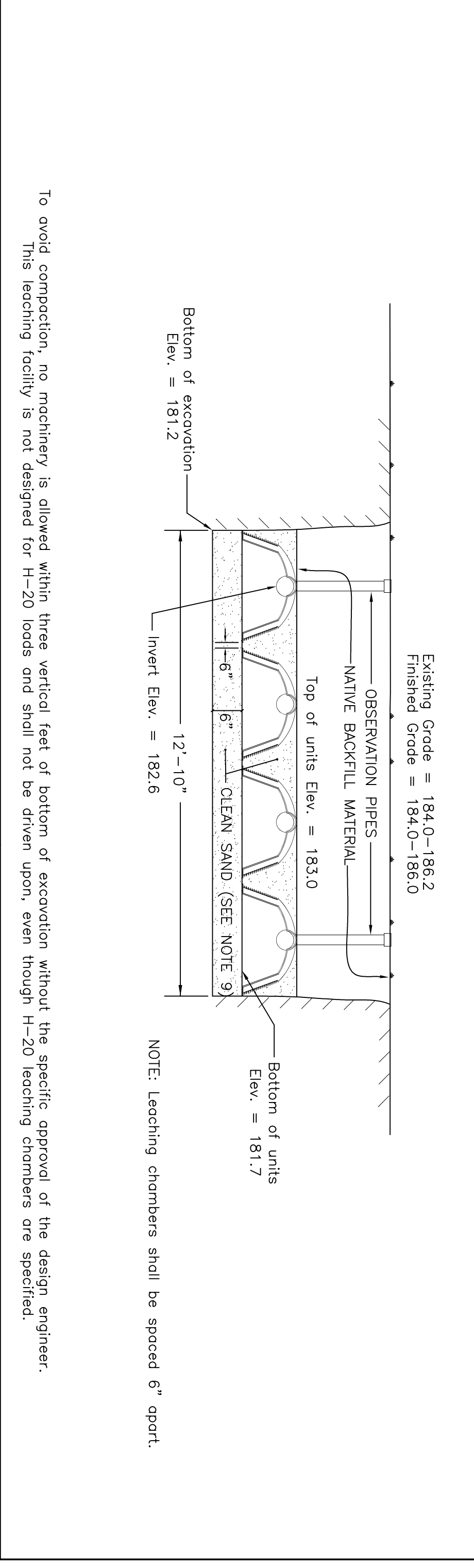
LOCUS MAP  
Scale: 1:1000

## LEGEND



## System Cross Section

NOTE: Not to scale



## Notes

## Design Criteria

**Design Hydraulic Loading:**  
6 Bedrooms x 110 GPD/Bedroom = 660 GPD  
**Septic tank capacity:**  
Required: 660 GPD x 200% = 1320 Gal. minimum  
Septic tank provided = 1500 Gal.  
**Leaching Capacity Provided:**  
H-20 High Capacity Leaching Chamber Bed  
32 Leaching Chamber Units  
32 Units x 6.25 linear ft./unit x 4.72 sq.ft./linear ft. = 944 sq.ft.  
944 sq.ft. x 0.74 GPD/sq.ft. = 698 GPD

## Proposed Septic System on Land in CHILMARK, MASS.

Designed for: TARA ROTHSCILD

Street Address: #36 WINTERGREEN WAY

Assessor No.: 18-27

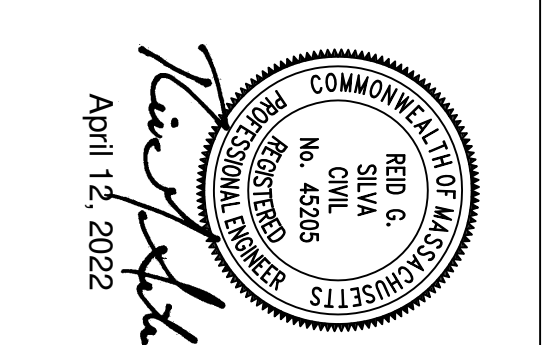
Lot Area: ±3.20 Acres

Designed By: Troy Silva, P.E.

Checked By: RRS

Date: April 8, 2022

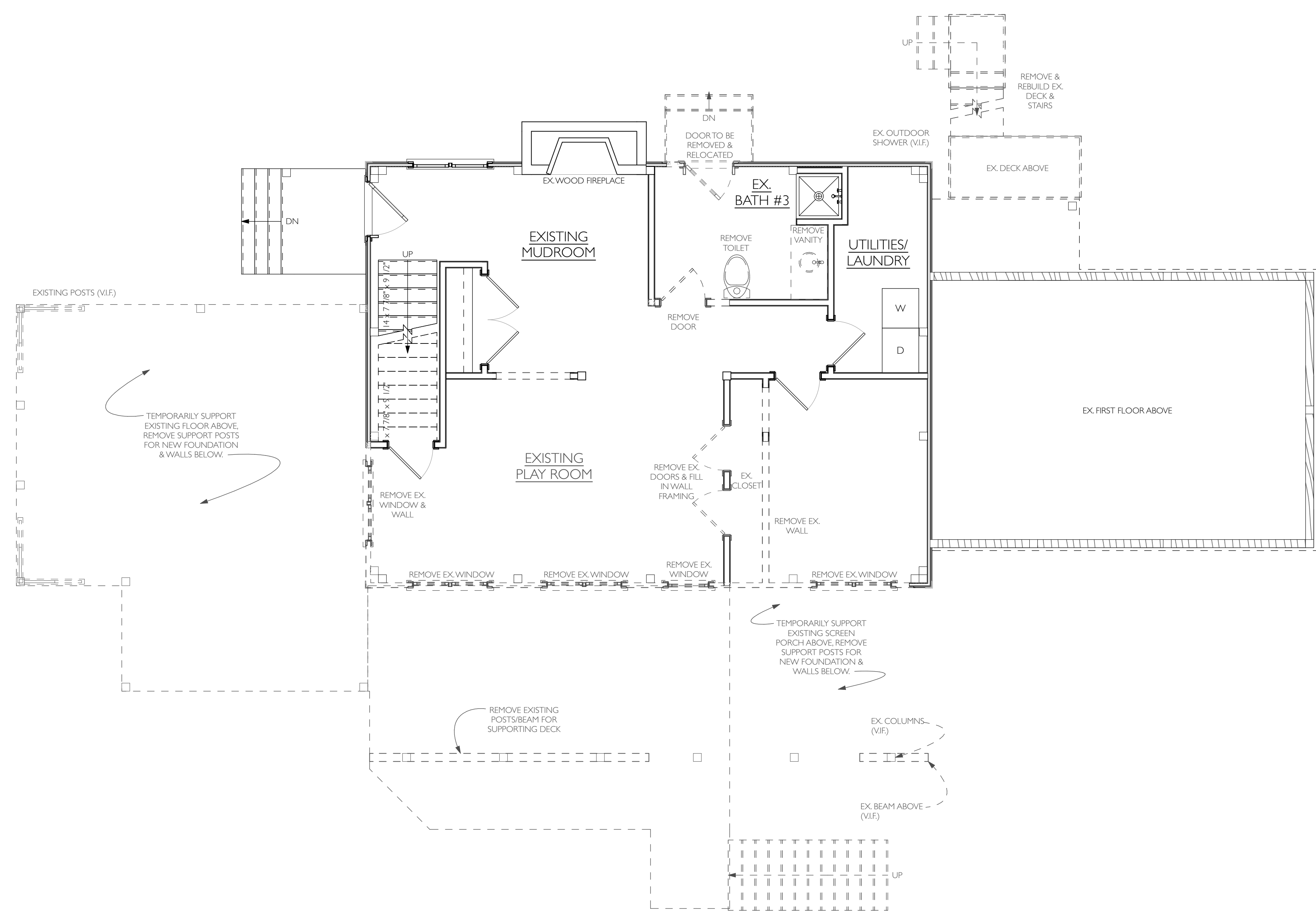
Revised:



## SOIL DATA

Soil evaluator: Reid G. Silva, P.E. Witnessed By: Marina Lent	
<b>Deep Observation Hole 1.</b> Date: January 11, 2022 Surface elevation = 186.5 Depth Horizon Texture 0"-10" A Sandy loam 10"-36" B Loamy sand 36"-120" C Medium coarse sand Perc. rate < 5 mpi. @ 36" No groundwater found at 120" Elev. = 176.5	<b>Deep Observation Hole 2.</b> Date: January 11, 2022 Surface elevation = 189.7 Depth Horizon Texture 0"-10" A Sandy loam 10"-24" B Loamy sand 24"-120" C Clay loam Perc. rate < 5 mpi. @ 60" No groundwater found at 120" Elev. = 179.7
<b>Deep Observation Hole 3.</b> Date: January 11, 2022 Surface elevation = 182.2 Depth Horizon Texture 0"-10" A Sandy loam 10"-30" B Loamy sand 30"-60" C1 Silt loam 60"-120" C2 Medium coarse sand Perc. rate < 5 mpi. @ 60" No groundwater found at Elev. = 172.2	

**WINEYARD & ENGINEERING**  
12 Cournoyer Road  
P.O. Box 421  
West Hilsbury, MA 02575  
P 508-693-3774 F 508-629-0440  
VISE.net



**FIRST FLOOR PLAN - DEMOLITION**

SCALE: 1/4" = 1'-0"

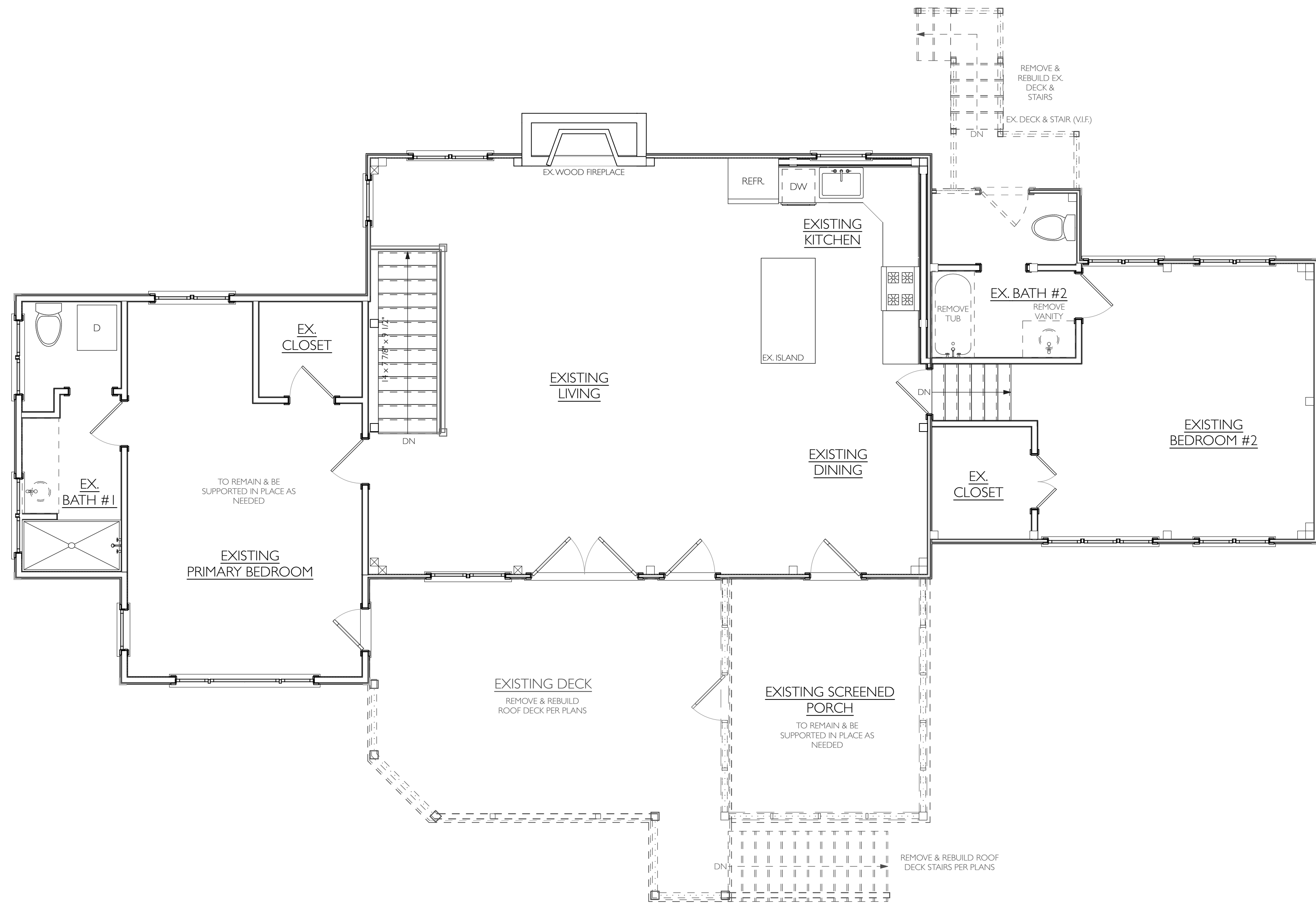


SET:	DATE:
ISSUED FOR STRUCT. REVIEW	2023.10.06
PROGRESS PRINT	2023.11.02
PERMIT SET	2023.11.06

PROJECT NAME:	<b>ROTHSCHILD RESIDENCE</b>
ADDRESS:	<b>36 WINTERGREEN WAY, CHILMARK MA 02535</b>
SHEET TITLE:	<b>FIRST FLOOR PLAN - DEMOLITION</b>

DRAWN BY:	<b>MA/DL/NG</b>
DATE:	<b>2023-11-06</b>
MAP/PARCEL:	<b>18-27</b>
JOB #:	<b>23R03</b>

DRAWING #:  
**D-101**

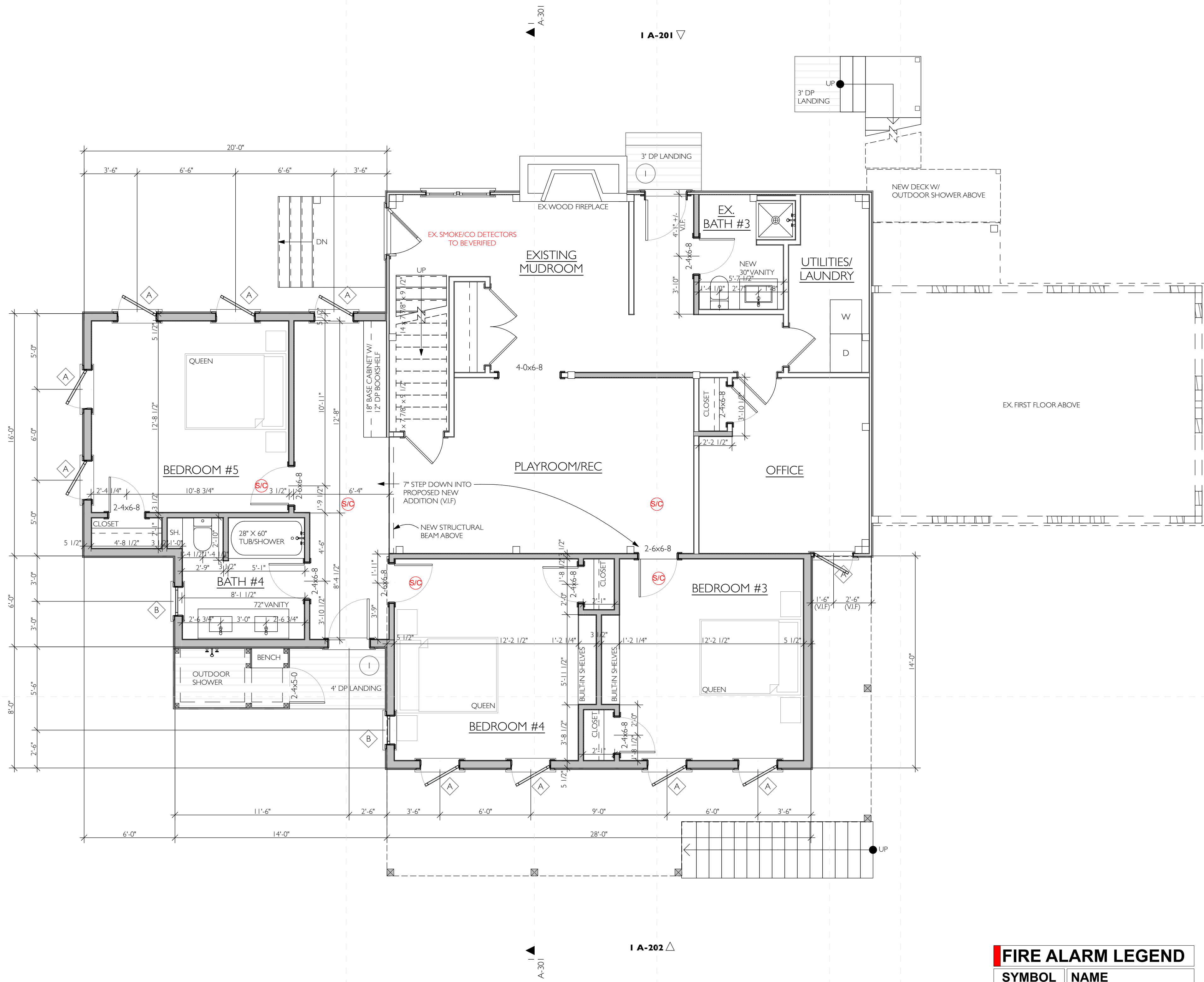


**SECOND FLOOR PLAN - DEMOLITION**  
 SCALE: 1/4" = 1'-0"



SET:	DATE:
ISSUED FOR STRUCT. REVIEW	2023.10.06
PROGRESS PRINT	2023.11.02
PERMIT SET	2023.11.06

PROJECT NAME:	<b>ROTHSCHILD RESIDENCE</b>
ADDRESS:	36 WINTERGREEN WAY, CHILMARK MA 02535
SHEET TITLE:	<b>SECOND FLOOR PLAN - DEMOLITION</b>
DRAWN BY:	MA/DJ/LNG
DATE:	2023-11-06
MAP/PARCEL:	18-27
JOB #:	23R03
DRAWING #:	<b>D-102</b>

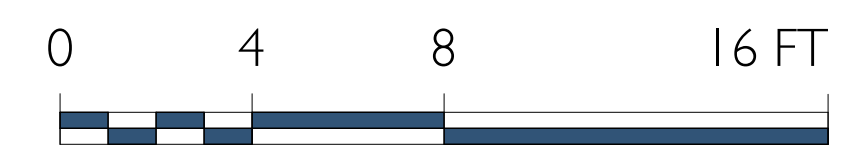
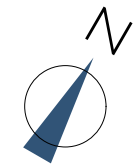


**FIRST FLOOR PLAN - PROPOSED**

SCALE: 1/4" = 1'-0"

**FIRE ALARM LEGEND**

SYMBOL	NAME
(S)	SMOKE DETECTOR
(C)	CARBON DETECTOR
(H)	HEAT DETECTOR
(S/C)	SMOKE AND CARBON DETECTOR

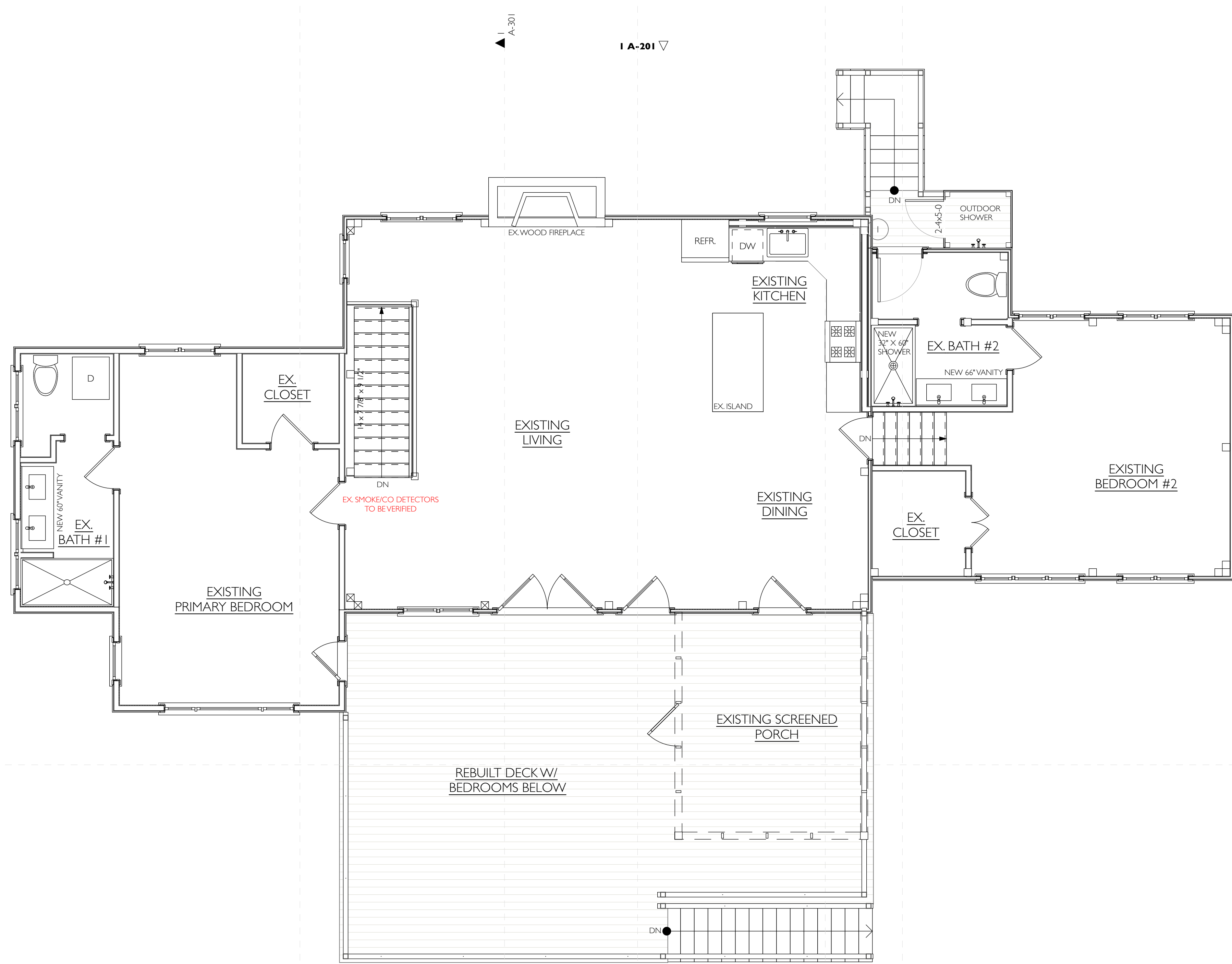


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PROJECT NAME: **ROTHSCHILD RESIDENCE**  
 ADDRESS: **36 WINTERGREEN WAY, CHILMARK MA 02535**  
 SHEET TITLE: **FIRST FLOOR PLAN - PROPOSED**

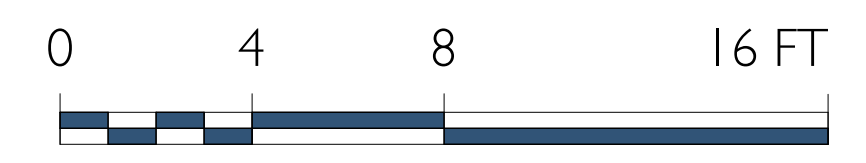
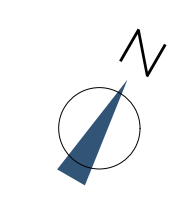
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 DATE: **2023-11-06**  
 MAP/PARCEL: **18-27**  
 JOB #: **23R03**  
 DRAWING #:

**A-101**



**SECOND FLOOR PLAN - PROPOSED**  
 SCALE: 1/4" = 1'-0"

FIRE ALARM LEGEND	
SYMBOL	NAME
(S)	SMOKE DETECTOR
(C)	CARBON DETECTOR
(H)	HEAT DETECTOR
(SC)	SMOKE AND CARBON DETECTOR



SET:	DATE:
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PROJECT NAME:	<b>ROTHSCHILD RESIDENCE</b>
ADDRESS:	36 WINTERGREEN WAY, CHILMARK MA 02535
SHEET TITLE:	<b>SECOND FLOOR PLAN - PROPOSED</b>

DRAWN BY:	MA/DL/NG
DATE:	2023-11-06
MAP/PARCEL:	18-27
JOB #:	23R03
DRAWING #:	





1 NORTH ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



SET:	DATE:
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PROJECT NAME:	ROTHSCHILD RESIDENCE
ADDRESS:	36 WINTERGREEN WAY, CHILMARK MA 02535
SHEET TITLE:	EXTERIOR ELEVATIONS - PROPOSED

DRAWN BY:	MA/D/LNG
DATE:	2023-11-06
MAP/PARCEL:	18-27
JOB #:	23R03
DRAWING #:	

**A-201**



1 SOUTH ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"

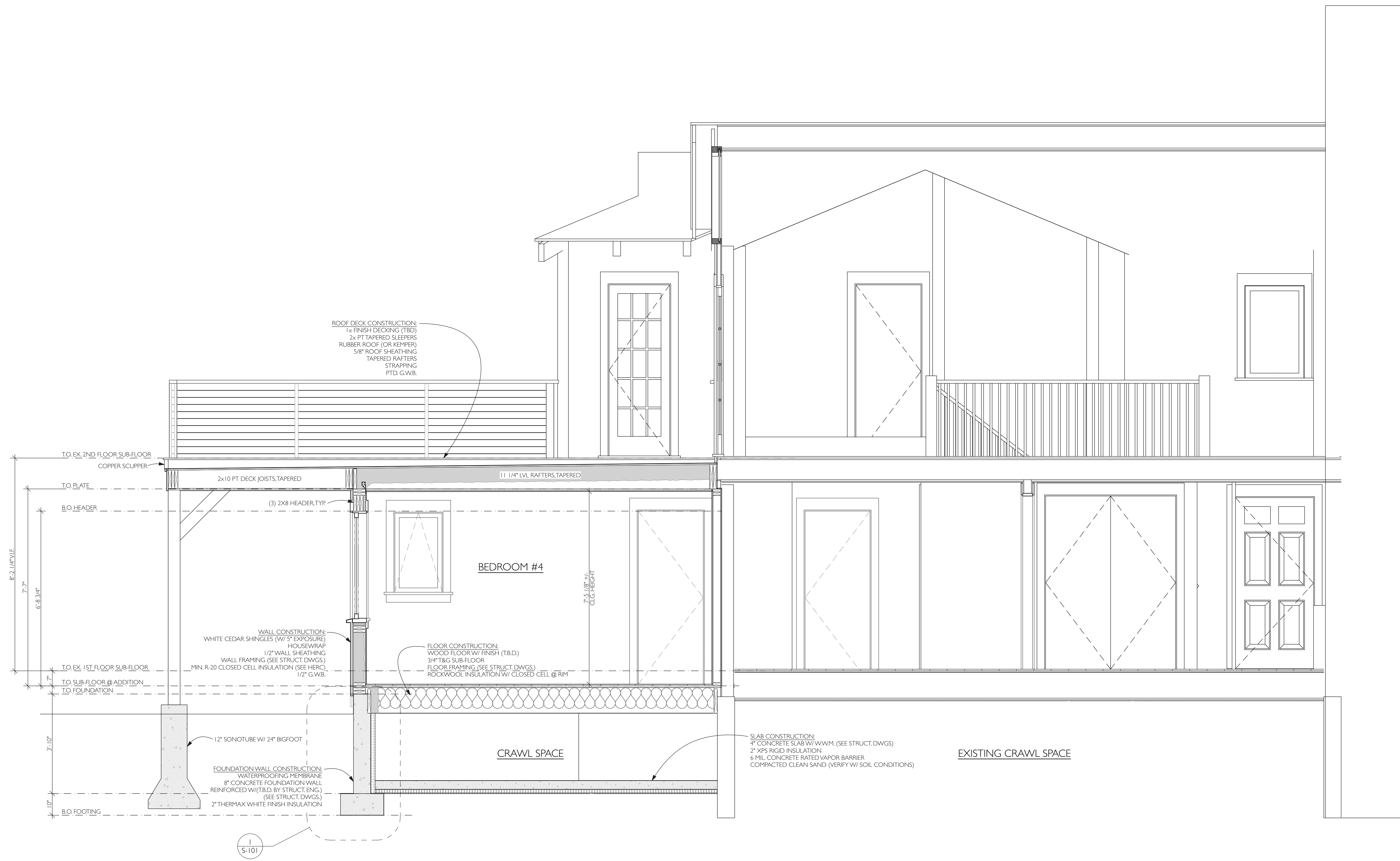


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PERMIT SET	2023.11.06

PROJECT NAME: **ROTHSCHILD RESIDENCE**  
 ADDRESS: **36 WINTERGREEN WAY, CHILMARK MA 02535**  
 SHEET TITLE: **EXTERIOR ELEVATIONS - PROPOSED**

DRAWN BY: **MA/D/LNG**  
 DATE: **2023-11-06**  
 MAP/PARCEL:  
 JOB #: **18-27**  
 DRAWING #: **23R03**

**A-202**



**1 ROOF DECK SECTION**  
 SCALE: 1/2" = 1'-0"

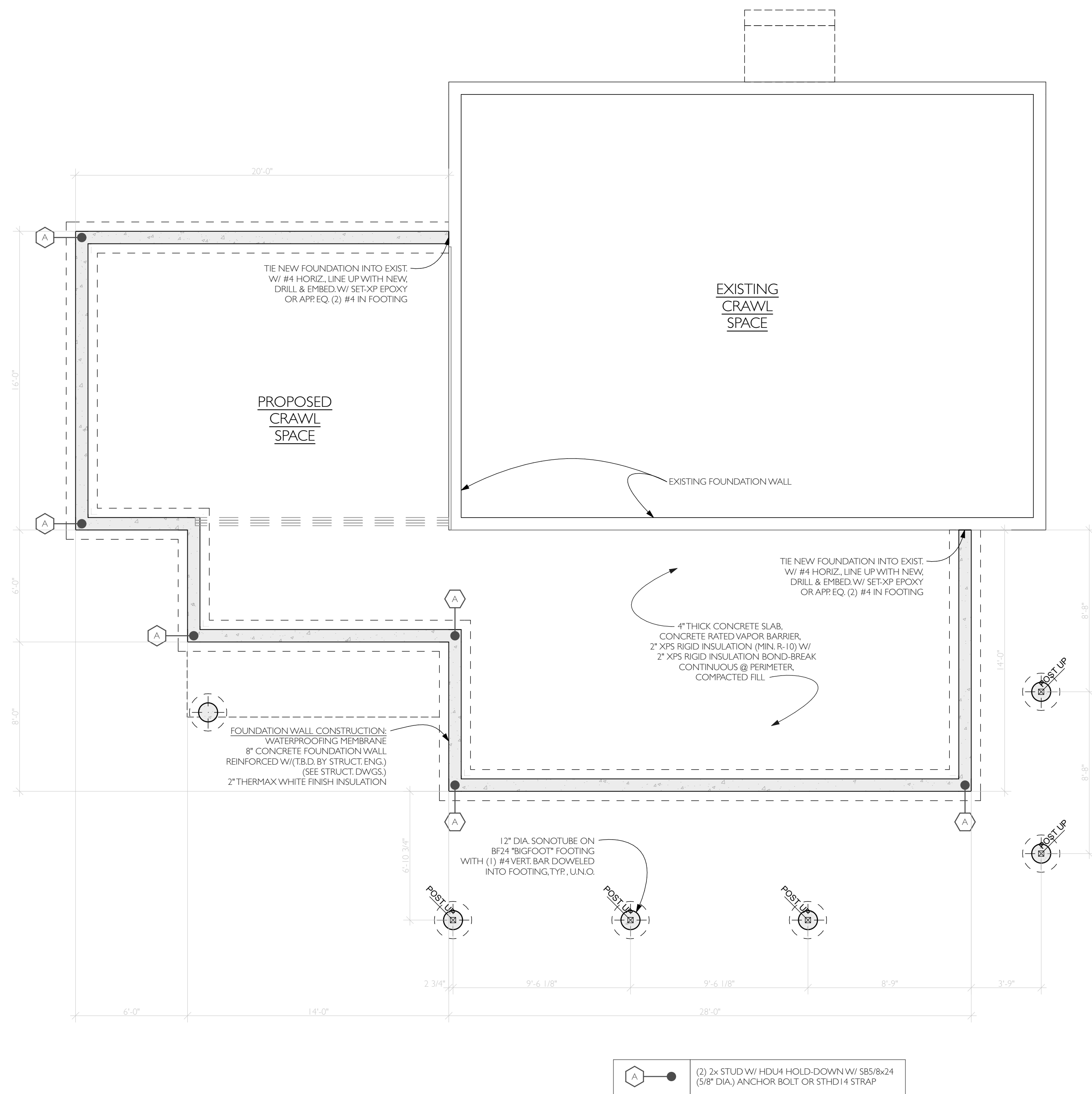


SET:	DATE:
PROGRESS PRINT	2023.11.02
PERMIT SET	2023.11.06

PROJECT NAME: **ROTHSCHILD RESIDENCE**  
 ADDRESS: **36 WINTERGREEN WAY, CHILMARK MA 02535**  
 SHEET TITLE: **BUILDING SECTION - PROPOSED**

DRAWN BY: **MA/D/LNG**  
 DATE: **2023-11-06**  
 MAP/PARCEL: **18-27**  
 JOB #: **23R03**  
 DRAWING #:

**A-301**



**FOUNDATION PLAN - PROPOSED**

SCALE: 1/4" = 1'-0"

**FOUNDATION NOTES**

**CONCRETE:**

- The Contractor shall coordinate the location and size of the openings for underground utilities prior to erection of the forms and pouring of the concrete.
- All concrete shall have a compressive strength of 3000 PSI with maximum 1" aggregate and maximum 6% air entrainment for exterior concrete exposed to moisture.

**FOUNDATION:**

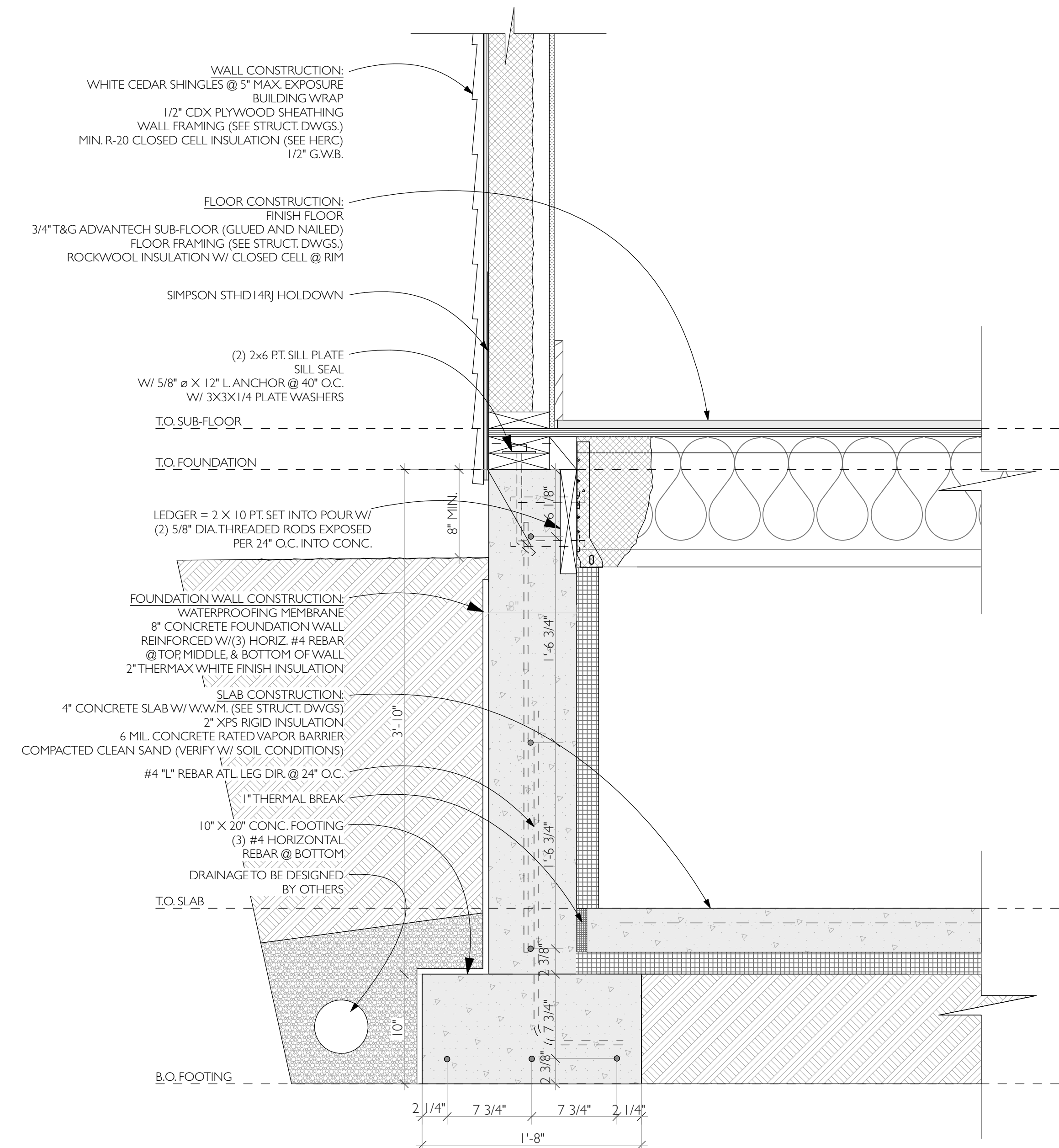
- The allowable presumed soil bearing capacity is 2000 PSF, which is to be verified in the field before construction.
- Foundation design criteria:
  - Footings to be 3000 PSI concrete w/ reinforcing.
  - Foundation wall to be 3000 PSI concrete.
  - Floors and slabs to be 2500 PSI Concrete.

**COMPACTED FILL:**

- Footings to rest on firm undisturbed soil, or compacted fill 95% of maximum dry density.
- All soft/organic or unstable areas shall be removed and replaced with compacted fill.
- Soil condition design criteria:
  - Assumed soil bearing 2000 PSF minimum.
  - Contractor to verify conditions.

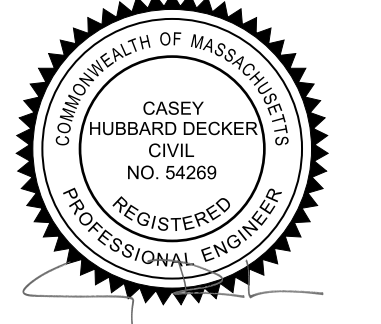
**PERIMETER FOOTING:**

- Contractor to provide and install perimeter drainage system (as required per site conditions).



**1 TYPICAL FOUNDATION DETAIL**

SCALE: 1 1/2" = 1'-0"

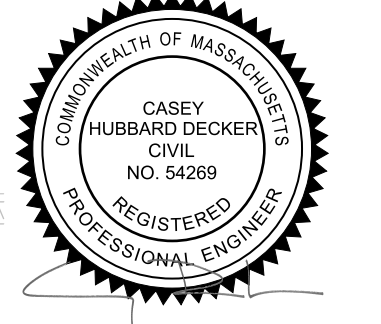


SET:	DATE:
ISSUED FOR STRUCT. REVIEW	2023.10.06
ISSUED FOR STRUCT. STAMP	2023.10.23
PROGRESS PRINT	2023.11.02
PERMIT SET	2023.11.06

PROJECT NAME: **ROTHSCHILD RESIDENCE**  
 ADDRESS: **36 WINTERGREEN WAY, CHILMARK MA**  
 SHEET TITLE: **FOUNDATION PLAN - PROPOSED**

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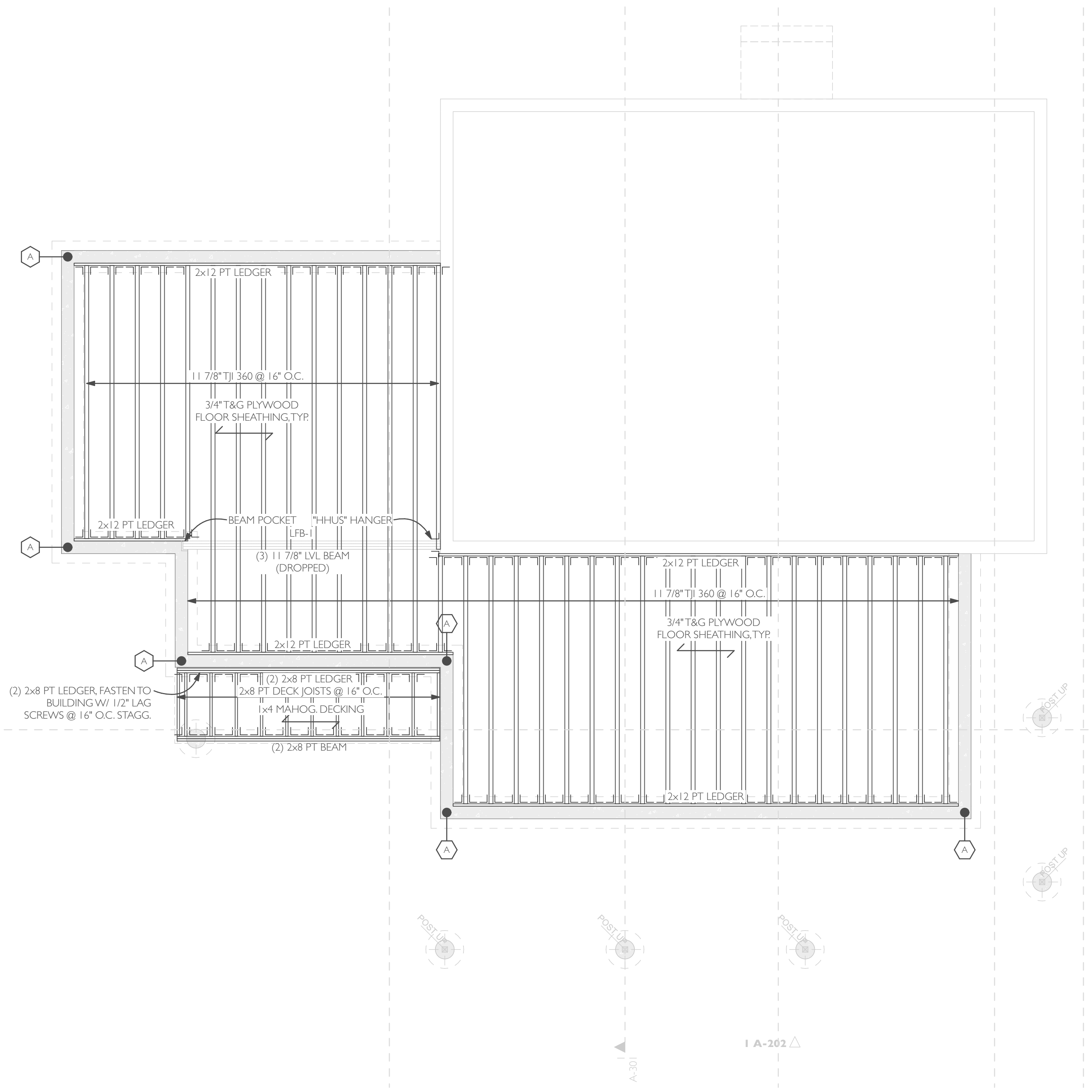
DRAWN BY: **MA/D/L/N/G**  
 DATE: **2023-11-06**  
 MAP/PARCEL: **18-27**  
 JOB #: **23R03**  
 DRAWING #: **S-101**



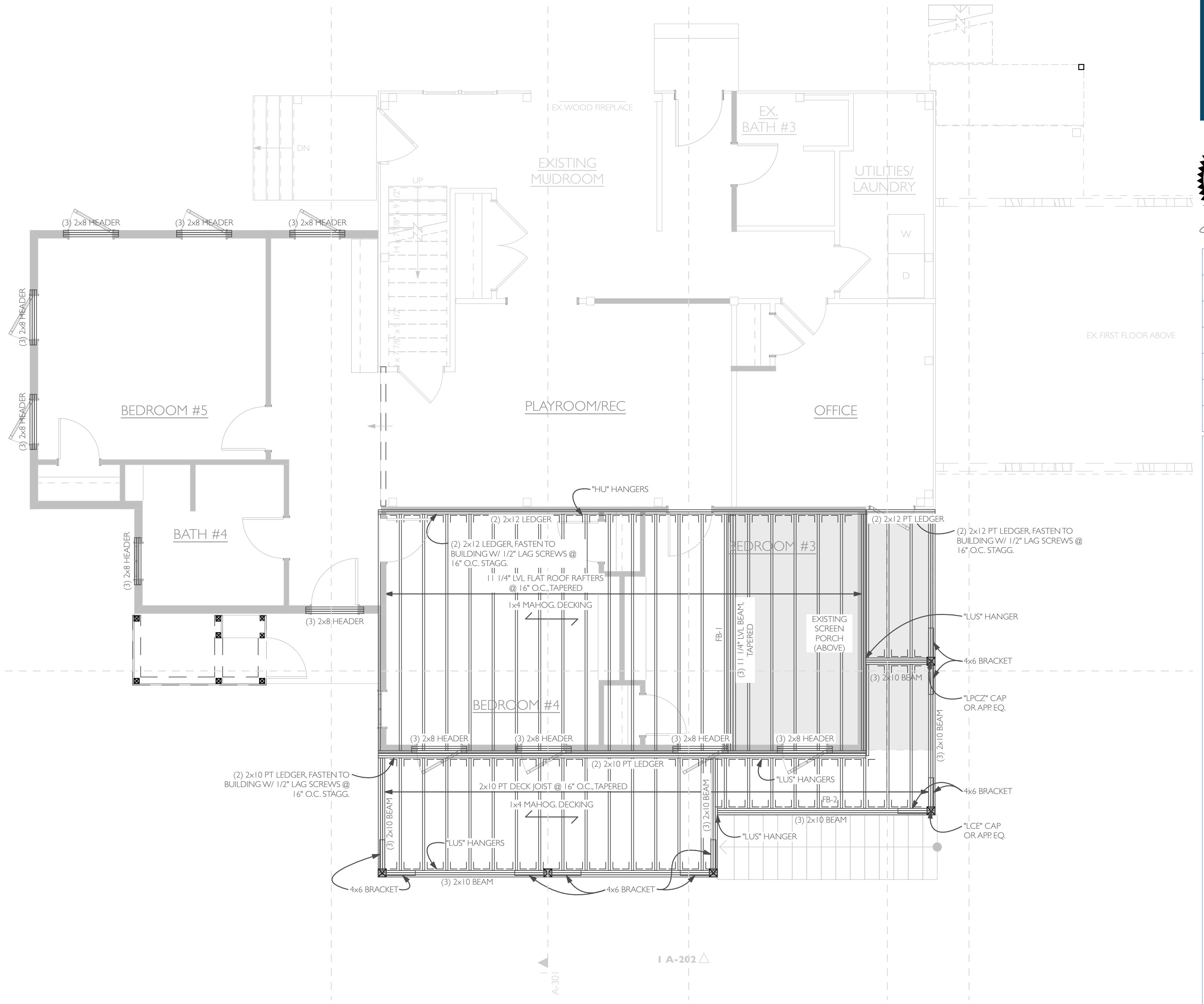
SET:	DATE:
ISSUED FOR STRUCT. REVIEW	2023.10.06
ISSUED FOR STRUCT. STAMP	2023.10.23
PROGRESS PRINT	2023.11.02
PERMIT SET	2023.11.06

PROJECT NAME: **ROTHSCHILD RESIDENCE**  
 ADDRESS: **36 WINTERGREEN WAY, CHILMARK MA**  
 SHEET TITLE: **FRAMING PLANS - PROPOSED**

DRAWN BY: MA/DL/NG  
 DATE: 2023-11-06  
 MAP/PARCEL: 18-27  
 JOB #: 23R03  
 DRAWING #:



**FIRST FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



**SECOND FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"