



# 15 Marsh Road

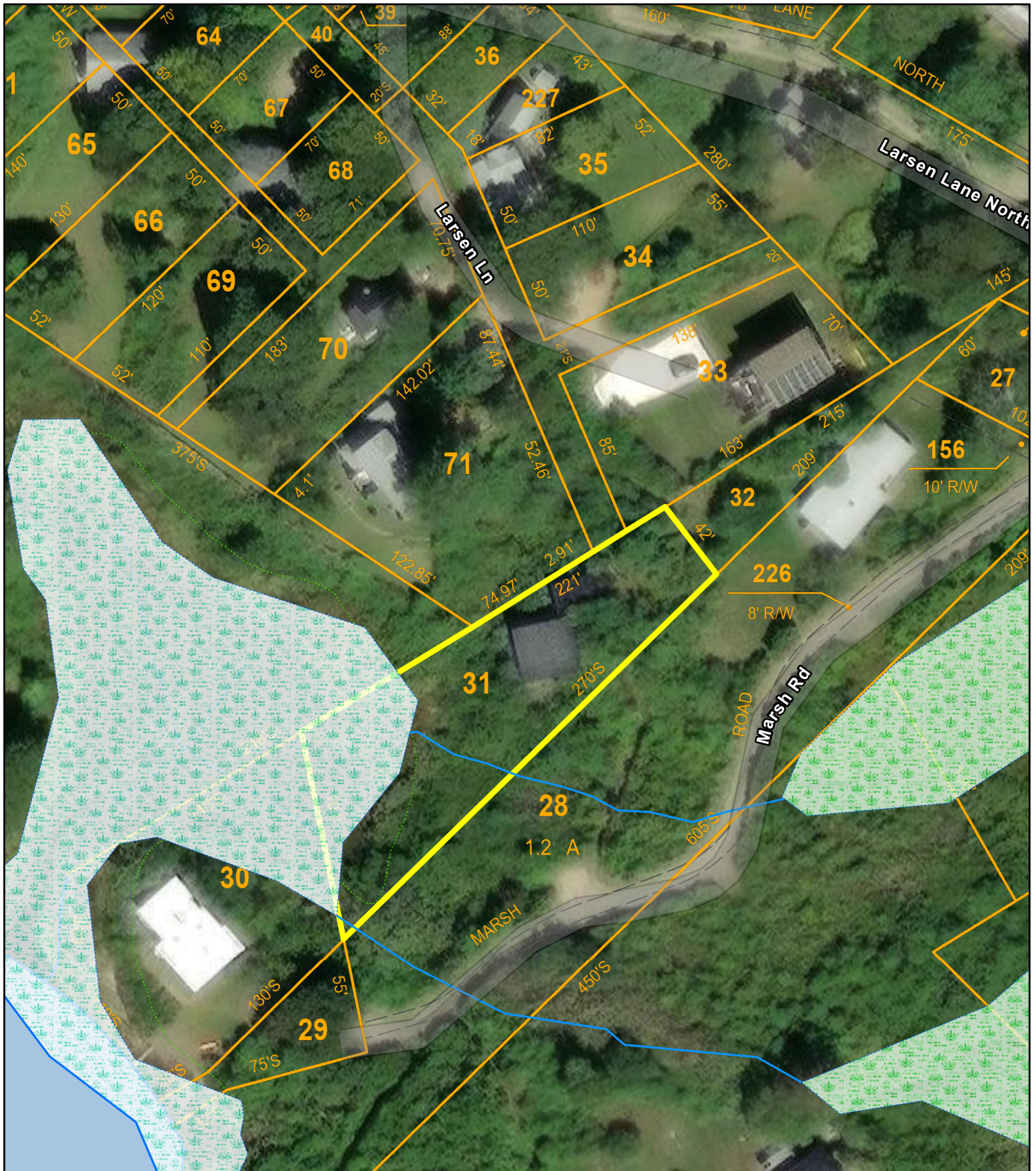
Town of Chilmark, MA

1 inch = 71 Feet



[www.cai-tech.com](http://www.cai-tech.com)

May 6, 2024



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GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

NOTES:  
Elevation Datum N.A.V.D. 88  
FEMA Flood Zone VE (EL = 12)

Legend:  
..... Denotes Cherry Tree to be removed.  
..... Denotes Cherry Tree to be pruned.

Assr.-Pcl. 27.1-73  
N/F On Menemsha Pond LLC"

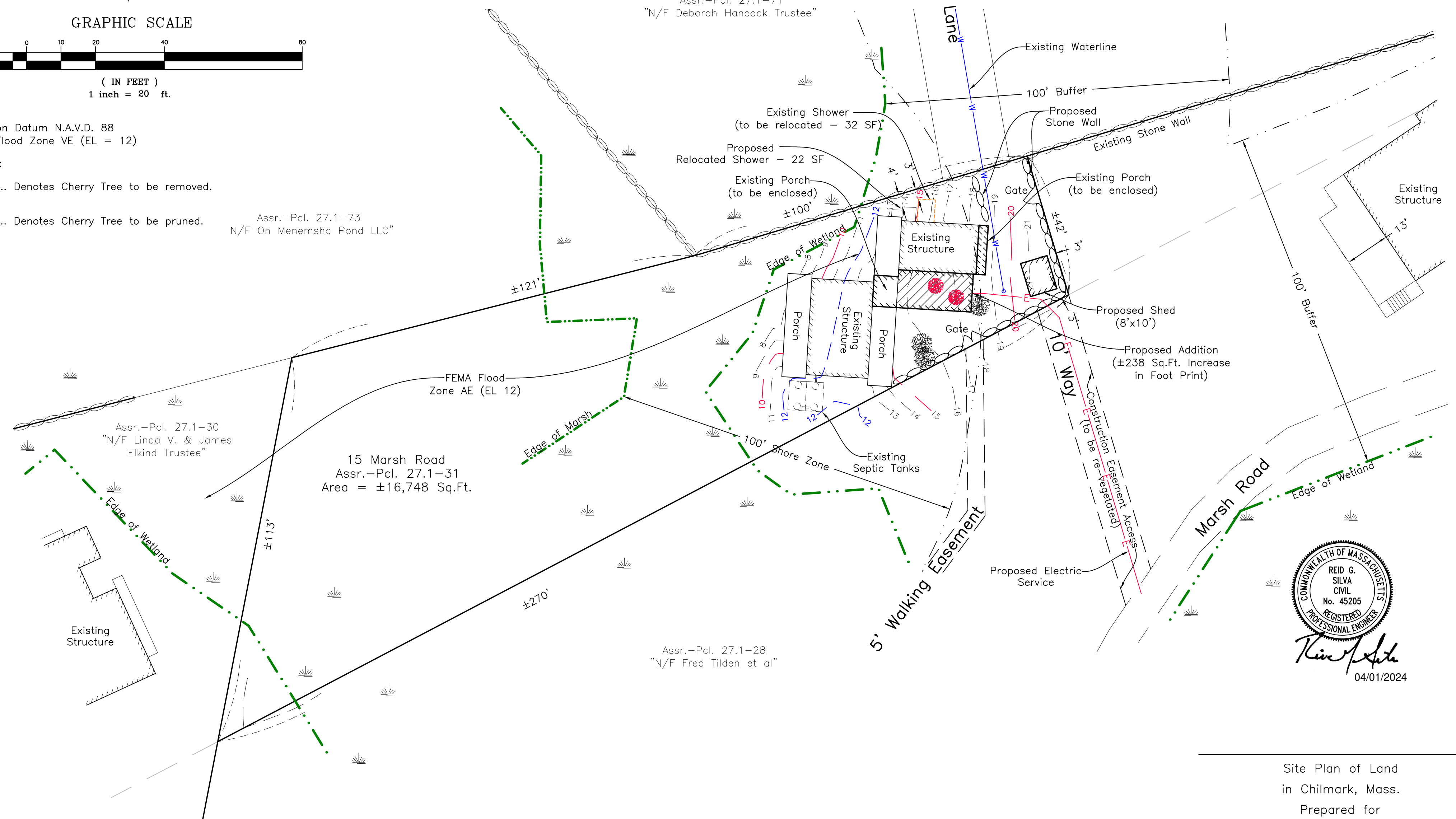
Assr.-Pcl. 27.1-33  
"N/F Staneley E. Startzell  
& D. Zetterburg Trustees"

Assr.-Pcl. 27.1-71  
"N/F Deborah Hancock Trustee"

Assr.-Pcl. 27.1-30  
"N/F Linda V. & James  
Elkind Trustee"

15 Marsh Road  
Assr.-Pcl. 27.1-31  
Area = ±16,748 Sq.Ft.

Assr.-Pcl. 27.1-28  
"N/F Fred Tilden et al"



*Reid G. Silva*  
04/01/2024

Site Plan of Land  
in Chilmark, Mass.  
Prepared for  
Brian Packish

April 1, 2024 Scale: 1"=20'

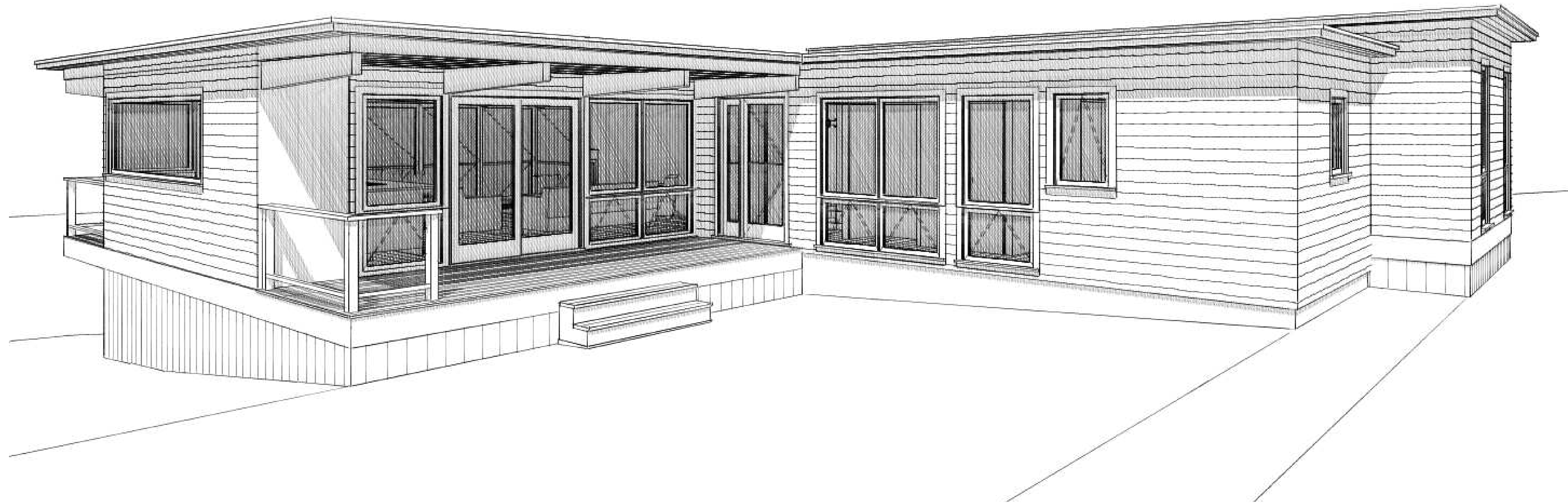
**VINEYARD LAND SURVEYING & ENGINEERING**  
12 Courmoyer Road  
P.O. Box 421  
West Tisbury, MA 02575  
P 508-693-3774 F 508-629-0440  
VLSE.net

# PACKISH RESIDENCE

15 MARSH ROAD, CHILMARK, MA 02535

sullivan + associates  
ARCHITECTS

508 693 0500  
sullivanassociatesarchitects.com



**BUILDING CODE INFORMATION:**

**BUILDING CODE:**  
MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION

**ENERGY CODE:**  
2021 IECC (ADOPTED BY MASSACHUSETTS JANUARY 1, 2023)

**CODE COMPLIANCE : CHILMARK**

PACKISH RESIDENCE  
15 MARSH ROAD, CHILMARK, MA 02535  
MAP-PARCEL: 27.1-31  
DISTRICT = 5

|                   | REQUIRED       | ACTUAL         |
|-------------------|----------------|----------------|
| MINIMUM LOT SIZE  | 2 ACRE         | 16.748 sft.    |
| FRONT SETBACK     | 35'            | 16'            |
| SIDEYARD SETBACK  | 35'            | 4'-1"          |
| REAR YARD SETBACK | 35'            | 142'           |
| ROOF HEIGHT       | 24' MAX. GABLE | NA             |
|                   | 13' MAX FLAT   | 14' + EXISTING |

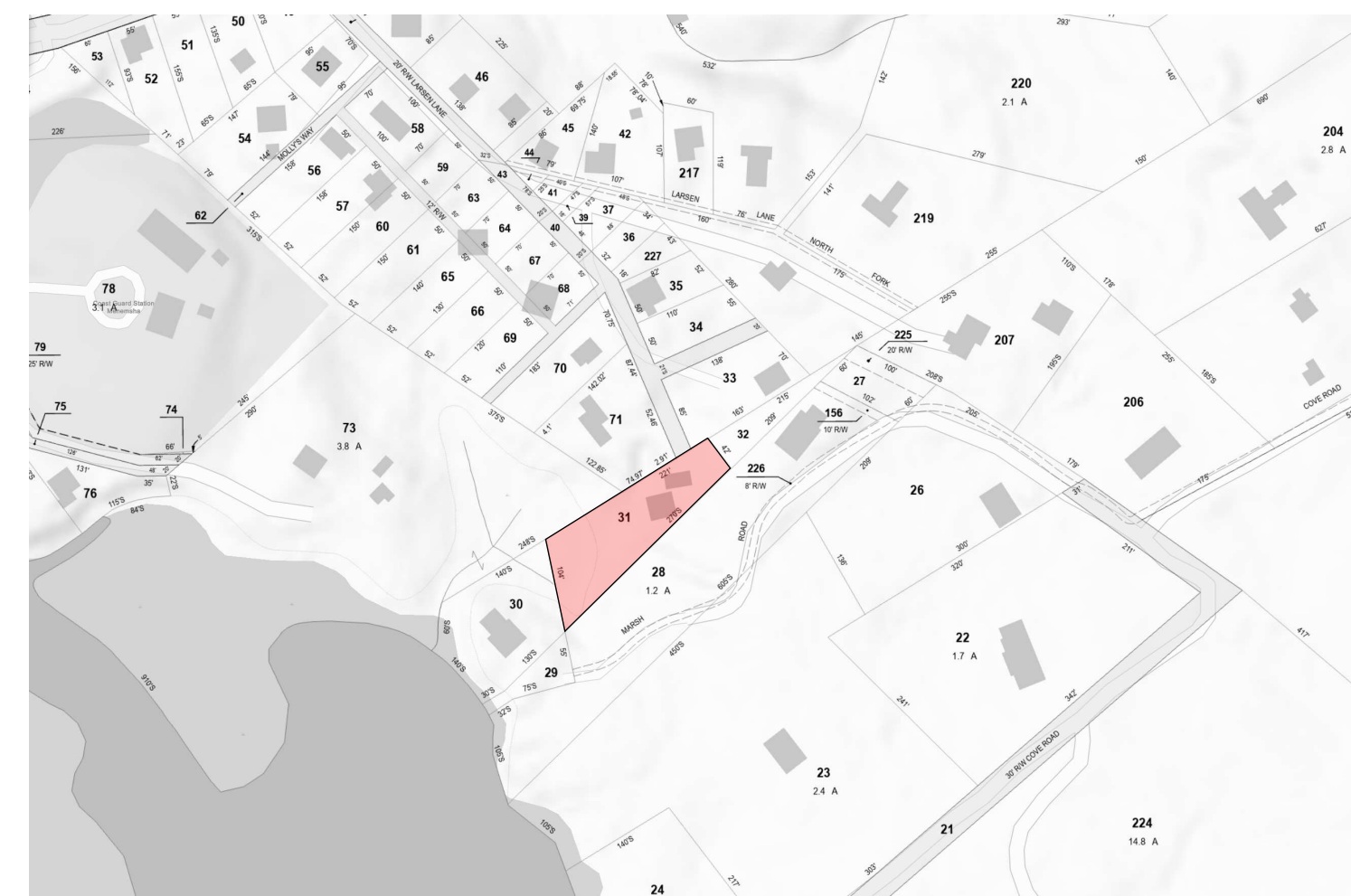
NOTES:

**SHEET INDEX**

| ID    | NAME                           |
|-------|--------------------------------|
| A-001 | GENERAL NOTES PROJECT DATA     |
| A-100 | FOUNDATION PLAN - PROPOSED     |
| A-101 | FIRST FLOOR PLAN - PROPOSED    |
| A-102 | ROOF PLAN - PROPOSED           |
| A-201 | EXTERIOR ELEVATIONS - PROPOSED |
| A-202 | EXTERIOR ELEVATIONS - PROPOSED |
| A-301 | BUILDING SECTION - PROPOSED    |

**ISSUED FOR REVIEW**

2024-04-24



**ARCHITECTS**  
SULLIVAN AND ASSOCIATES ARCHITECTS  
52 NARRAGANSETT AVENUE  
OAK BLUFFS MA, 02557  
(508) 693-0500

**SEPTIC & SURVEYING ENGINEER**  
VINEYARD LAND SURVEYING & ENGINEERING, INC  
12 COURNOYER ROAD, P.O. BOX 421  
WEST TISBURY, MA 02575  
(508) 693-3774

CONTRACTOR

STRUCTURAL ENGINEERING

**NOTES:**

Windows and Doors to be insulated Low-E argon-filled double-pane glass to meet or exceed energy performance U-Factor of 0.3 Window Manufacturer/Contractor to obtain sign-off from Architect on which units require tempered glass before placing order. **Windows and Doors glazing are required to meet Wind Borne Debris Region requirements for Large Missile Test of ASTM E 1996 and of ASTM E 1886.** Garage door glazed opening protection for windborne debris shall meet the requirements of an approved impact resisting standard or ANSI/DASMA 115.

Wood structural panels constructed to meet code, shall be provided for all exterior glazed openings, and any existing openings as indicated on architectural plans (See detail W-02)

Windows and Doors to meet required Design Pressures ratings for Wind Speed, Exposure Zone, and Roof Height listed on these drawings. Contractor to submit Manufacturer's Design Pressures ratings for sign-off approval on all windows and doors before placing order.

Contractor to verify quantities before placing order.

Contractor to obtain rough openings from manufacturer for framing.

**GLASS**

HEAT SMART DOUBLE GLAZED 3MM THICKNESS BLACK SPACER

Exterior Profile: PUTTY Interior Profile: PUTTY

**EXTEIROR FINISH:**

Material: CLAD Color: ALPINE WHITE

**INTERIOR FINISH:**

Material: PRIMED Color: WHITE

**HARDWARE:**

Finish OIL RUBBED BRONZE Awning/Casement Style: CONTEMPORARY

Hinged Door Style: DALLAS Sliding Door Style: MIAMI

| WINDOW SCHEDULE |        |                       |            |         |          |          |          |              |         |       |          |              |        |
|-----------------|--------|-----------------------|------------|---------|----------|----------|----------|--------------|---------|-------|----------|--------------|--------|
| ID              | QUANT. | FRAME SIZE (NOT R.O.) |            | TYPE    | MANUF.   | MODEL #  | SERIES   | LITE OPTIONS |         | COLOR | TEMPERED | SASH LIMITER | EGRESS |
|                 |        | WIDTH                 | HEIGHT     |         |          |          |          | SASH #1      | SASH #2 |       |          |              |        |
| A               | 2      | 2'-3 1/4"             | 4'-7 1/4"  | PICTURE | ANDERSEN | APW 2448 | A-SERIES | 1            | -       | BLACK | ☒        | ☐            | ☐      |
| B               | 2      | 2'-3 1/4"             | 2'-3 1/4"  | AWNING  | ANDERSEN | AAN 2424 | A-SERIES | 1            | -       | BLACK | ☐        | ☐            | ☐      |
| C               | 1      | 4'-11 1/4"            | 1'-11 1/4" | AWNING  | ANDERSEN | AAN 2420 | A-SERIES | 1            | -       | BLACK | ☐        | ☐            | ☐      |
| D               | 1      | 2'-3 1/4"             | 2'-11 1/4" | AWNING  | ANDERSEN | AAN 2430 | A-SERIES | 1            | -       | BLACK | ☒        | ☐            | ☐      |
| E               | 1      | 2'-3 1/4"             | 3'-7 1/4"  | AWNING  | ANDERSEN | AAN 2438 | A-SERIES | 1            | -       | BLACK | ☒        | ☐            | ☐      |
| F               | 7      | 3'-3 1/4"             | 2'-3 1/4"  | AWNING  | ANDERSEN | AAN 3424 | A-SERIES | 1            | -       | BLACK | ☐        | ☐            | ☐      |
| G               | 7      | 3'-3 1/4"             | 4'-7 1/4"  | PICTURE | ANDERSEN | APW 3448 | A-SERIES | 1            | -       | BLACK | ☐        | ☐            | ☐      |
| I               | 1      | 3'-3 1/4"             | 3'-7 1/4"  | PICTURE | ANDERSEN | APW 3438 | A-SERIES | 1            | -       | BLACK | ☐        | ☐            | ☐      |
| J               | 1      | 12'-0"                | 3'-7 1/4"  | PICTURE | ANDERSEN | CUSTOM   | A-SERIES | 1            | -       | BLACK | ☐        | ☐            | ☐      |
| K               | 1      | 1'-3 1/4"             | 5'-7 1/4"  | PICTURE | ANDERSEN | APW 1458 | A-SERIES | 1            | -       | BLACK | ☐        | ☐            | ☐      |
| L               | 1      | 1'-7 1/4"             | 2'-11 1/4" | AWNING  | ANDERSEN | APW 2848 | A-SERIES | 1            | -       | BLACK | ☒        | ☐            | ☐      |

| DOOR SCHEDULE - FOR PRICING ONLY |        |                |          |               |       |                      |        |                   |
|----------------------------------|--------|----------------|----------|---------------|-------|----------------------|--------|-------------------|
| MARK                             | QUANT. | TYPE           | MANUF.   | MODEL#        | LITES | UNIT SIZE (NOT R.O.) |        | NOTES             |
|                                  |        |                |          |               |       | WIDTH                | HEIGHT |                   |
| 1                                | 1      | EXTERIOR       | ANDERSEN | FWHD 6061TSAR | 1     | 3'-0"                | 7'-0"  | INSWING FRENCH    |
| 2                                | 1      | SLIDE          | ANDERSEN | FWGD 6061TR   | 1     | 6'-6"                | 7'-0"  |                   |
| 3                                | 1      | LIFT AND SLIDE | TBD      |               | 1     | 19'-11 1/4"          | 7'-0"  |                   |
| 4                                | 1      | LIFT AND SLIDE | TBD      |               | 1     | 10'-0"               | 7'-0"  |                   |
| 5                                | 1      | EXTERIOR       | TBD      |               | -     | 3'-1 1/2"            | 3'-0"  | CRAWLSPACE ACCESS |

**GLOSSARY**

|  |  |  |  |
|--|--|--|--|
| <p>@ - AT<br/>CL - CENTERLINE<br/>PL - PROPERTY LINE<br/>Ø - DIAMETER<br/># - POUND OR NUMBER<br/>(E) - EXISTING<br/>(N) - NEW<br/>ABV - ABOVE<br/>ACC - ACCESS<br/>ACOUS- ACUSTICAL<br/>A.D. - AREA DRAIN<br/>ADJ. - ADJUSTABLE<br/>A.F.F. - ABOVE FINISHED FLOOR<br/>A.I.B. - AIR INFILTRATION BARRIER<br/>ATL - ALTERNATING<br/>APPROX - APPROXIMATE<br/>ARCH - ARCHITECT<br/>BD - BOARD<br/>BLDG - BUILDING<br/>BLKG - BLOCKING<br/>BM - BEAM<br/>B.O. - BOTTOM OF<br/>B/ - BOTTOM<br/>B/W - BOTH WAYS<br/>BP - BASE PLATE<br/>CAB - CABINET<br/>C.B. CATCH BASIN<br/>CEM - CEMENT<br/>CER. - CERAMIC<br/>C.I.P. - CAST-IN-PLACE<br/>C.J. - CONTROL JOINT<br/>CLG - CEILING<br/>CLKG - CAULKING<br/>CL - CENTER LINE<br/>CLO - CLOSET<br/>CLR - CLEAR<br/>C.M.U. - CONCRETE MASONRY UNIT<br/>CNTR - COUNTER<br/>COL - COLUMN<br/>CONC. - CONCRETE<br/>CONN - CONNECTION<br/>CONT. - CONTINUOUS<br/>CORR. - CORRIDOR<br/>C.T. CERAMIC TILE<br/>CPT - CARPET / CARPETED<br/>CTR - CENTER<br/>DBL - DOUBLE<br/>DEMO - DEMOLITION<br/>DTL - DETAIL<br/>DEV - DEVELOPMENT<br/>DIA - Ø - DIAMETER<br/>DIM - DIMENSION<br/>DIR - DIRECTION<br/>DN - DOWN<br/>D.O. - DOOR OPENING<br/>DR - DISHWASHER<br/>DW - DISHWASHER<br/>DWG - DRAWING<br/>E - EAST<br/>EA - EACH<br/>EA/W - EACH WAY<br/>ECT - ECTETERA<br/>ELEV - ELEVATION<br/>ELEC - ELECTRICAL<br/>EMBED - EMBEDDED<br/>ENCL - ENCLOSURE<br/>ENG - ENGINEER<br/>EQ - EQUALLY<br/>EQUIP - EQUIPMENT</p> | <p>EST - ESTIMATE<br/>EXIST - EXISTING<br/>EXPO - EXPOSED / EXPOSURE<br/>EXT - EXTERIOR<br/>F.D. FLOOR DRAIN<br/>F.E. FIRE EXTINGUISHER<br/>FF - FIRST FLOOR<br/>F/F - FINISH FLOOR TO FINISH FLOOR<br/>FRN - FINISH<br/>FDN - FOUNDATION<br/>FLASH - FLASHING<br/>FL FLOOR / FLOORING<br/>FLUOR - FLUORESCENT<br/>F.O. - FACE OF<br/>F.O.C. - FACE OF CONCRETE<br/>F.O.I.C. - FURNISHED BY OWNER<br/>- INSTALLED BY CONTRACTOR<br/>F.O.M. - FACE OF MASONRY<br/>F.O.S. - FACE OF STUDS<br/>F.O.F. - FACE OF FINISH<br/>F.O.S. - FACE OF STUDS<br/>FR - FRAME<br/>FRPF - FIREPROOF<br/>FRPL - FIREPLACE<br/>FTG - FOOTING<br/>FT - FOOT OR FEET<br/>FURR - FURRING<br/>FUT - FUTURE<br/>F.W. - FULL WIDTH<br/>FG - FINISH GRADE<br/>FND - FOUNDATION<br/>GA - GAUGE<br/>GALV - GALVANIZED<br/>G.C. - GENERAL CONTRACTOR<br/>GL - GLASS<br/>GLAM - GLUE- LAMINATED<br/>GR - GRADE<br/>G.W.B. - GYPSUM WALL BOARD<br/>H.B. - HORSE BIB<br/>H.C. - HOLLOW CORE<br/>H.D.O. - HIGH DENSITY OVERLAY<br/>HDR - HEADER<br/>HOWD - HARDWOOD<br/>HOWE - HARDWARE<br/>HEM - HEMLOCK<br/>H.M. HOLLOW METAL<br/>HORIZ - HORIZONTAL<br/>H.P. - HIGH POINT<br/>HR - HOUR<br/>HT - HEIGHT<br/>HWAC - HEATING / VENTILATING / AIR CONDITIONING<br/>H.W. - HOT WATER<br/>I.D. - INSIDE DIAMETER<br/>IN - INCH<br/>INSUL - INSULATION<br/>INT - INTERIOR<br/>J.B. - JUNCTION BOX<br/>J.F. - JOINT FILLER<br/>JT - JOINT<br/>LSL - LAMINATED STRAND LUMBER<br/>LVL - LAMINATED VENEER LUMBER<br/>LAM. - LAMINATE / LAMINATED<br/>LAV - LAVATORY<br/>L.F. - LINEAL FEET<br/>LOC - LOCATION<br/>LP. - LOW POINT<br/>LT - LIGHT</p> | <p>MAS - MASONRY<br/>MAX - MAXIMUM<br/>M.B. - MACHINE BOLT<br/>M.C. - MEDICINE CABINET<br/>MDF - MEDIUM DENSITY FIBERBOARD<br/>MDO - MEDIUM DENSITY OVERLAY<br/>MECH - MECHANICAL<br/>MILAM - MICROLAM<br/>MEMB - MEMBRANE<br/>MTL - METAL<br/>MFR - MANUFACTURER<br/>MIN - MINIMUM<br/>MISC. - MISCELLANEOUS<br/>MTD - MOUNTED<br/>MAT - MATERIAL<br/>MUL - MILLION<br/>N - NORTH<br/>N/A - NOT APPLICABLE<br/>N.I.C. - NOT IN CONTRACT<br/>NO - NUMBER<br/>NAT - NATURAL<br/>OA - OVERALL<br/>O/C - ON CENTER<br/>O.D.A. - OUTSIDE DIAMETER<br/>O.D. - OVERFLOW DRAIN<br/>OFF - OFFICE<br/>OH - OVERHEAD<br/>OPNG - OPENING<br/>OPP - OPPOSITE<br/>OP. HD. - OPPOSITE HAND<br/>PERF - PERFORATED<br/>PERP - PERPENDICULAR<br/>PL - PLATE<br/>PLAM - PLASTIC LAMINATE<br/>PLAS - PLASTER<br/>PWD - PLYWOOD<br/>PNL - PANEL<br/>PR - PAIR<br/>PRCST - PRE-CAST<br/>PT - POINT<br/>PTD - PAINTED<br/>PTN - PARTITION<br/>PLY - PLYWOOD<br/>PSF - POUND PER SQUARE FOOT<br/>PSI - POUND PER SQUARE INCH<br/>PSL - PARALLEL STRAND LUMBER<br/>P.T. - PRESSURE TREATED<br/>PTD - PAINTED<br/>R - RAISER<br/>R.A. - RETURN AIR<br/>RAD - RADIUS<br/>R.B. - RUBBER BASE<br/>R.D. - ROOF DRAIN<br/>RET - RETAINING<br/>REF - REFERENCE<br/>REFR - REFRIGERATOR<br/>REFN - REINFORCED<br/>REM - REMAINDER<br/>REQ - REQUIRED<br/>REV - REVISION / REVISIONS / REVISED<br/>RGTR - REGISTER<br/>R.H. RIGHT HAND<br/>RM - ROOM<br/>RO - ROUGH OPENING<br/>R.V.P. - RADON VENT PIPE<br/>R.W.L. - RAIN WATER LEADER</p> | <p>S - SOUTH<br/>S.A.F. - SELF-ADHERED FLASHING<br/>S.A.M. SELF ADHERED MEMBRANE<br/>S.C. - SOILD CORE<br/>S.D. - SMOKE DETECTOR<br/>SCHED - SCHEDULE<br/>SECT - SECTION<br/>S.G. - SAFETY GLASS<br/>SH - SHELF<br/>S.I.P. - STRUCTURAL INSULATED PANEL<br/>SHR - SHOWER<br/>SHT - SHEET<br/>SHT.MTL. - SHEET METAL<br/>SHTG - SHEATHING<br/>SIM - SIMILAR<br/>SL - SLAB<br/>S.O.G. - SLAB ON GRADE<br/>SPEC - SPECIFICATION<br/>SF - SECOND FLOOR<br/>S/F SUBFLOOR<br/>SQ.IN. - SQUARE INCHES<br/>S.S. - STAINLESS STEEL<br/>STA - STATION<br/>STD - STANDARD<br/>STL - STEEL<br/>STOR - STORAGE<br/>STAGG - STANGGERED<br/>STR - STRUCTURAL<br/>SUSP - SISPENED<br/>SYM - SYMMETRICAL<br/>T - TREAD<br/>T.B. - TOWEL BAR<br/>T.C. - TOP OF CURB<br/>TEL - TELEPHONE<br/>TER - TERRAZZO<br/>T &amp; G - TONGUE AND GROOZE<br/>T.G. - TEMPERED GLASS<br/>THK - THINK<br/>T.O. - TOP OF<br/>T.O.S. - TOP OF SLAB / TOP OF STEEL<br/>T.O.W. - TOP OF WALL<br/>T.P.H. - TOILET PAPER HOLDER<br/>T/ - TOP<br/>T/B - TOP AND BOTTOM<br/>TBD - TO BE DETERMINED<br/>TBR - TO BE REMOVED<br/>TJI - ENGINEER JOIST<br/>TP - TOP PLATE<br/>TYP - TYPICAL<br/>UNO - UNLESS OTHERWISE NOTED<br/>VCT - VONYL COMPOSITION TILE<br/>VEN - VENEER<br/>VERT - VERTICAL<br/>VEST - VESTIBULE<br/>VIF - VERIFY IN FIELD<br/>W/ - WITH<br/>W - WEST<br/>W.R.C. - WESTERN RED CEDAR<br/>W.C. - WATER CLOSET<br/>WD - WOOD<br/>W.F. - WIDE FLANGE<br/>W.H. - WATER HEATER<br/>W/O - WITHOUT<br/>WIN - WINDOW<br/>WP - WATERPROOF<br/>WR - WATER RESISTANT<br/>WT - WEIGHT<br/>Z.C.C. - ZINC COATED COPPER</p> |
|--|--|--|--|

**GENERAL NOTES**

- CODES: ALL WORK SHALL CONFORM TO THE CURRENT MASSACHUSETTS STATE BUILDING CODES LISTED IN BUILDING CODE INFORMATION TABLE ON TITLE PAGE.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICT EXISTS.
- ALL FRAMING SHALL BE LEVEL, PLUMB, AND TRUE TO LINES SHOWN.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT BLOCKING, BAKING, AND JACKS REQUIRED FOR INSTALLATION.
- VERIFY LOCATION OF ALL EXISTING UTILITIES AND SLEEVING: CAP, MARK, AND PROTECT AS NECESSARY TO COMPLETE THE WORK. PROVIDE AS-BUILT PLAN OF ALL UTILITY LOCATIONS.
- NOTIFY OWNER 10 DAYS IN ADVANCE OF DEMOLITION.
- SET ALL TILES WITH JOINTS AS DIRECTED BY OWNER OR ARCHITECT. ALL TILES SHALL BE ACCURATELY ALIGNED AND TRUE TO PLANE.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- ALL PLUMBING AND VENTING SHALL BE ACCORDING TO LOCAL CODES.
- SERVICE WATER PIPES IN UNHEATED SPACES TO BE INSULATED.
- INSULATION IS TO BE PROVIDED AT ALL BATHROOMS AND AHU CLOSETS.
- PROVIDE FIREBLOCKING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
- PROVIDE DRAFTSTOPPING AT ALL LOCATIONS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
- MOUNT ALL DOOR HARDWARE HANDSETS AT 36" TO CENTERLINE UNLESS OTHERWISE NOTED. VERIFY W/ ARCHITECT.
- USE PVC WASTE LINES FOR ALL PLUMBING IN CEILINGS AND WALLS.
- ALL INSULATION MATERIALS SHALL HAVE FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE-DEVELOPED RATING NOT TO EXCEED 450, PER MASSACHUSETTS STATE BUILDING CODE.
- CLEAR DEBRIS FROM ALL VENTILATION DRILL HOLES AND NOTCHES.
- ALL ELECTRICAL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AS WELL AS THE NATIONAL ELECTRIC CODE, MOST RECENT ADDITION.
- THE CONTRACTOR IS REQUIRED TO COORDINATE BETWEEN THE TRADES THE SEQUENCE OF THE CONSTRUCTION AND THE REQUIRED REVIEW AND APPROVALS FOR THE HOUSE TO BE CERTIFIED AS ENERGY STAR COMPLIANT.

**MATERIAL LEGEND**

|  |                           |  |                              |  |                    |
|--|---------------------------|--|------------------------------|--|--------------------|
|  | GRADE                     |  | BLOCKING                     |  | DECK BOARD         |
|  | GRAVEL                    |  | STRUCTURAL FRAMING MEMBER    |  | WOOD TRIM          |
|  | FOUNDATION WALLS PROPOSED |  | LVL                          |  | WOOD FLOORING      |
|  | FOUNDATION WALLS EXISTING |  | PLYWOOD SHEATHING/ SUB-FLOOR |  | CEDAR SHINGLES     |
|  | CMU BLOCK                 |  | GYPSUM BOARD                 |  | BRICK RUNNING BOND |
|  | BRICK                     |  | RIGID INSULATION             |  | PROPOSED WALLS     |
|  | STONE                     |  | SPRAY FOAM INSULATION        |  | EXISTING WALLS     |
|  | STEEL                     |  | BATT INSULATION              |  |                    |

**SYMBOL LEGEND**

|  |                      |  |                      |  |                    |
|--|----------------------|--|----------------------|--|--------------------|
|  | NORTH ARROW          |  | REVISION INDICATOR   |  | INTERIOR ELEVATION |
|  | FLOOR PLAN ELEVATION |  | REVISION LABEL       |  | ELEVATION MARKER   |
|  | SECTION BREAK LINE   |  | SLOPE / PITCH SYMBOL |  | SECTION MARKER     |
|  | DOOR MARKER          |  | NOTE MARKER          |  | DETAIL MARKER      |
|  | WINDOW MARKER        |  |                      |  |                    |



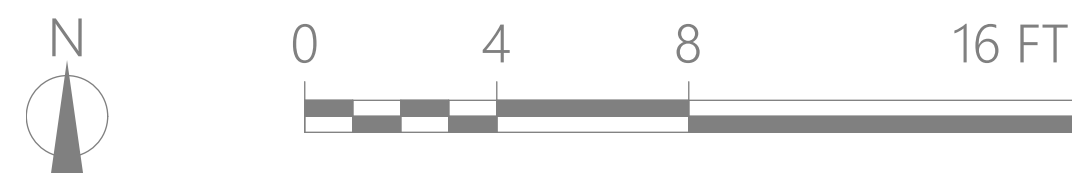
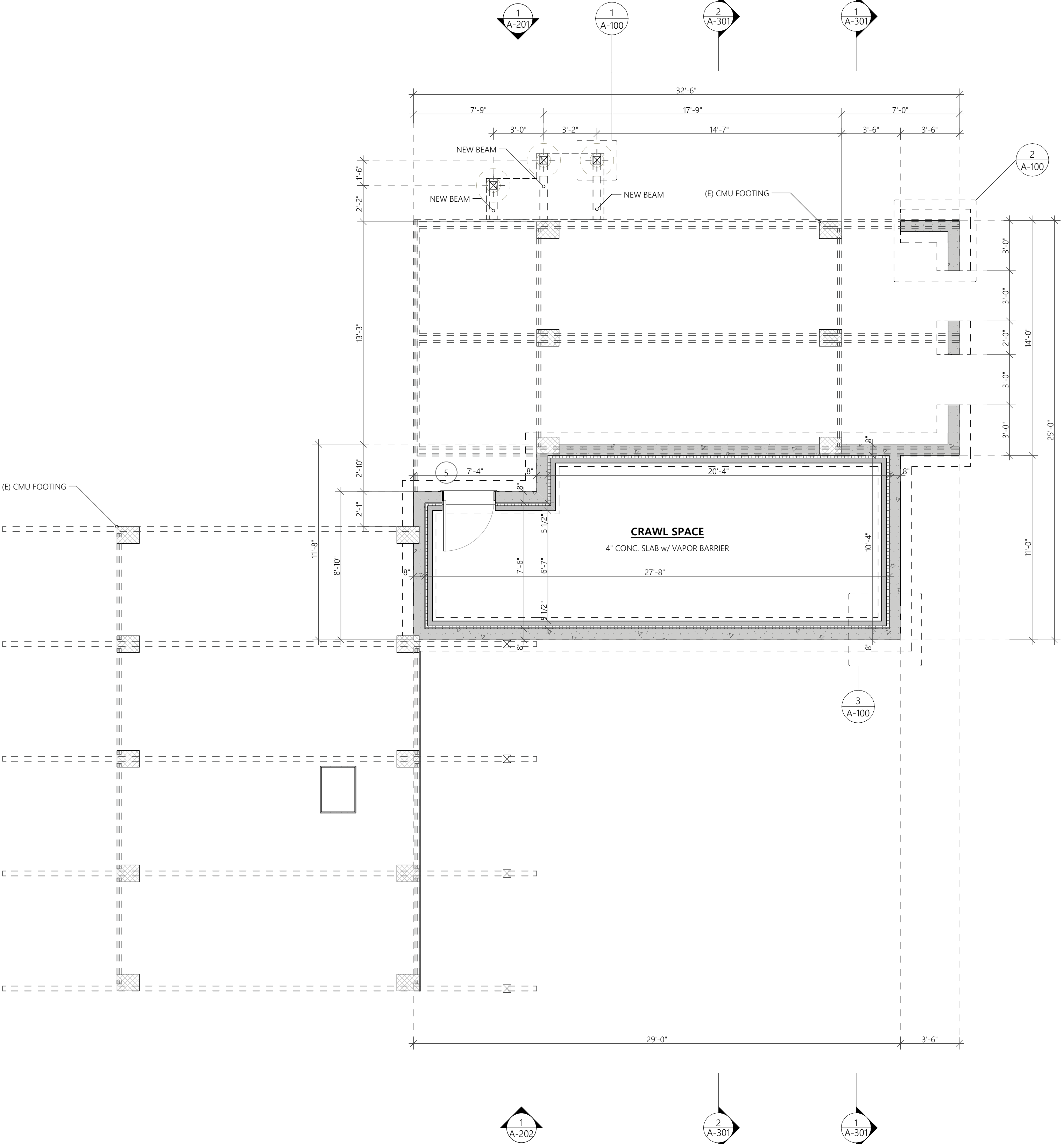
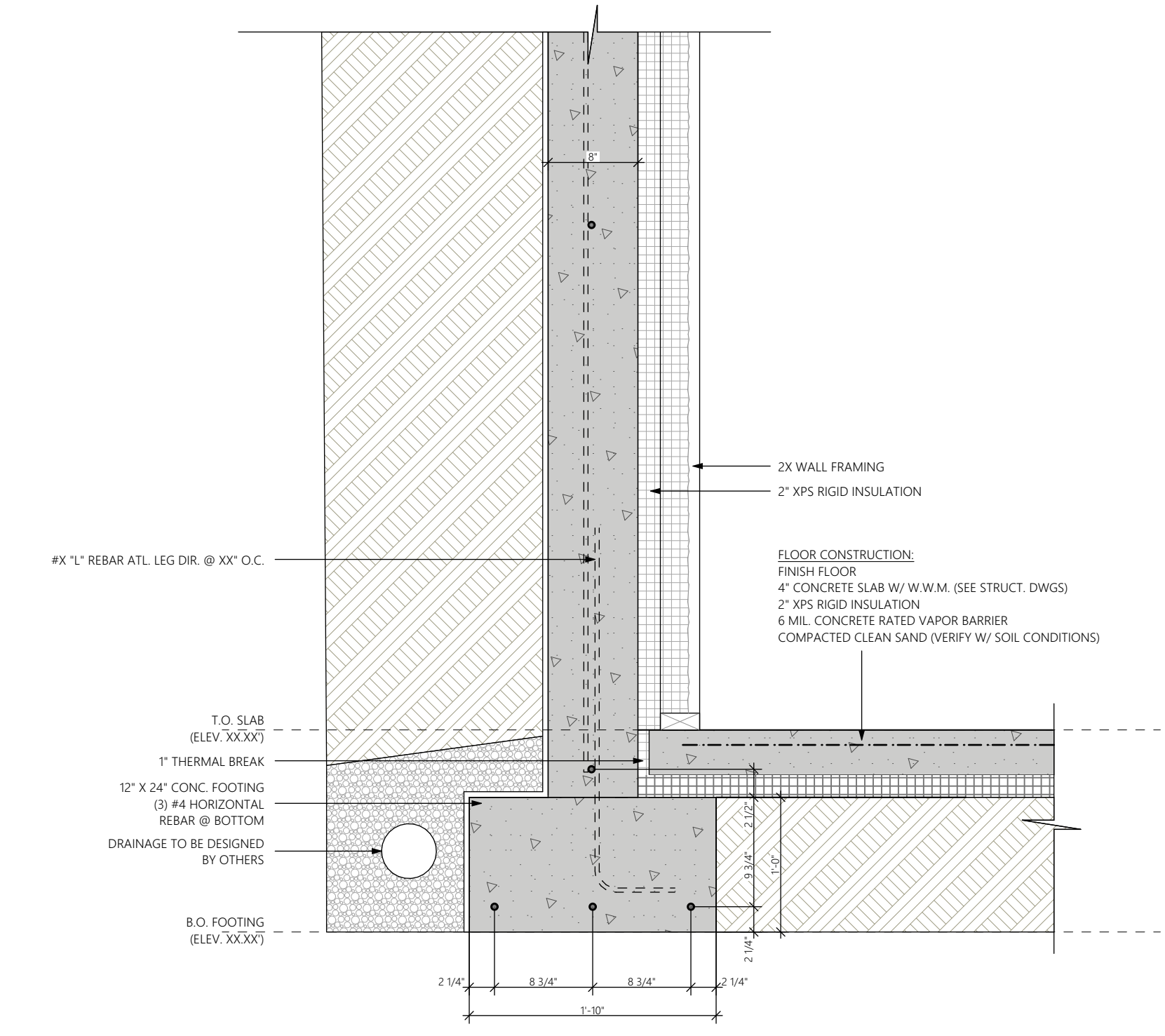
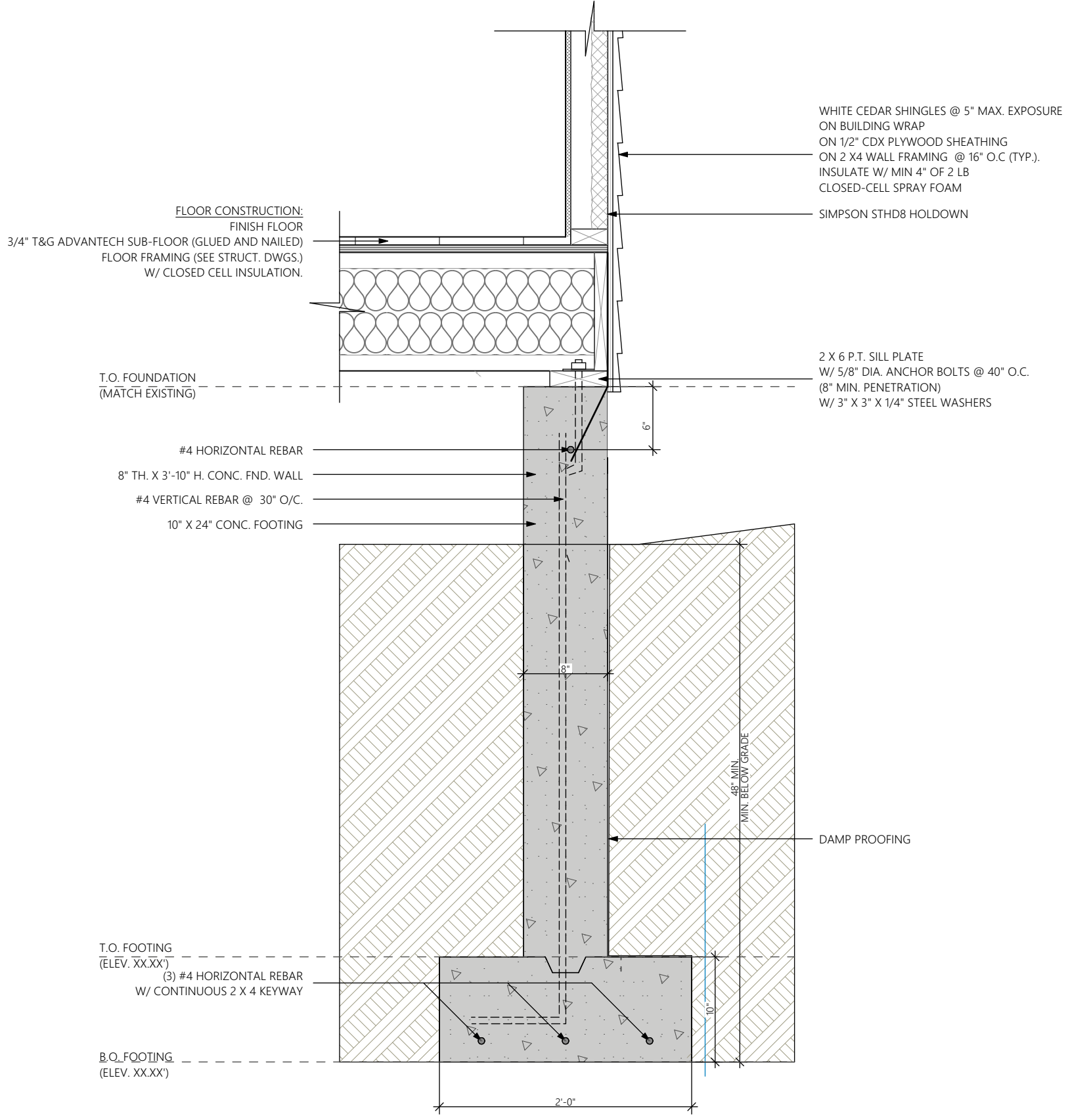
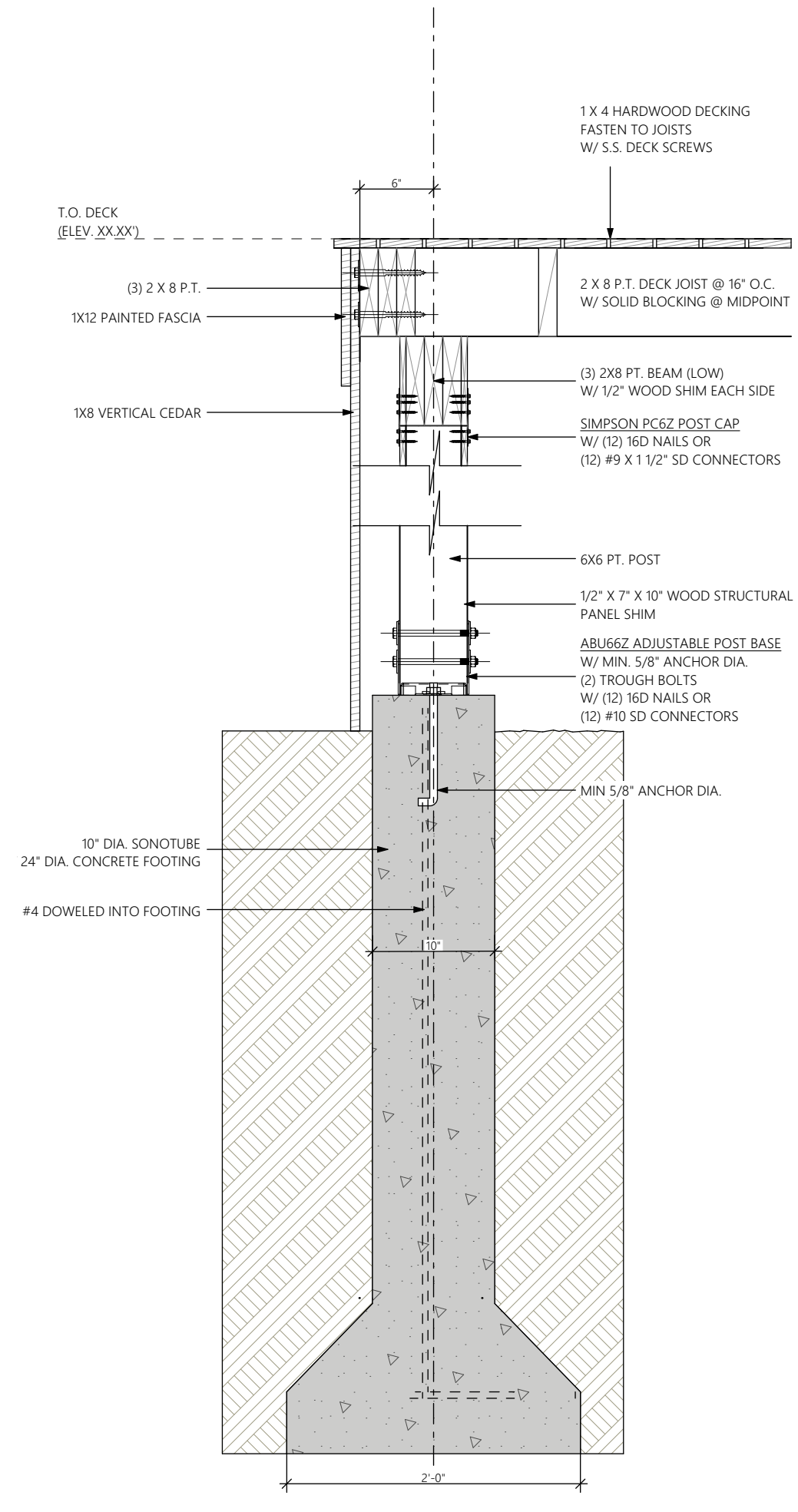
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| SET:   | DATE:    |
| SET #1 | ##/##/22 |
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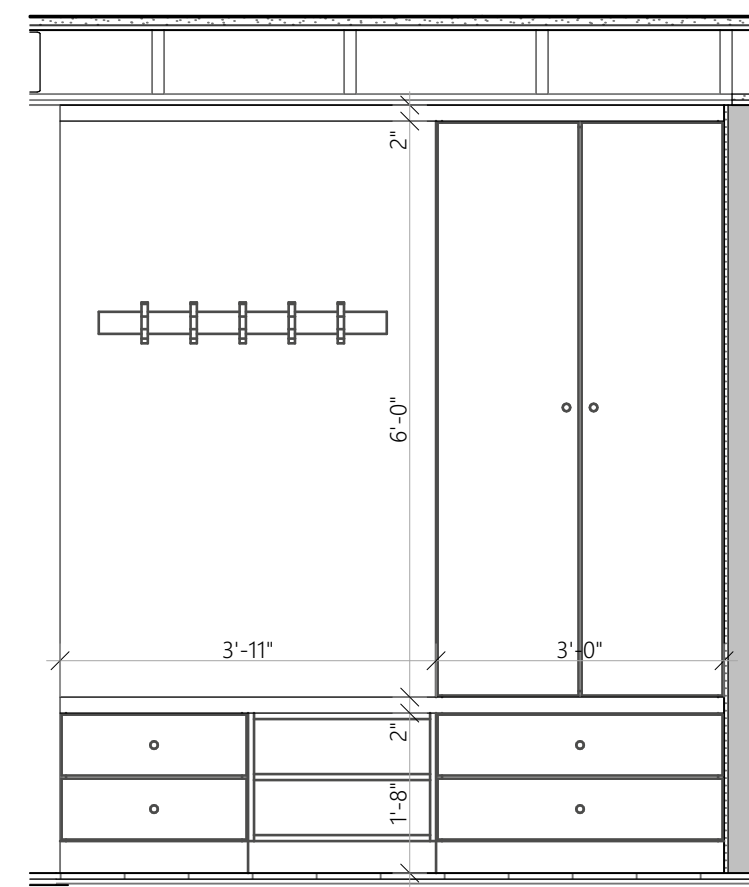
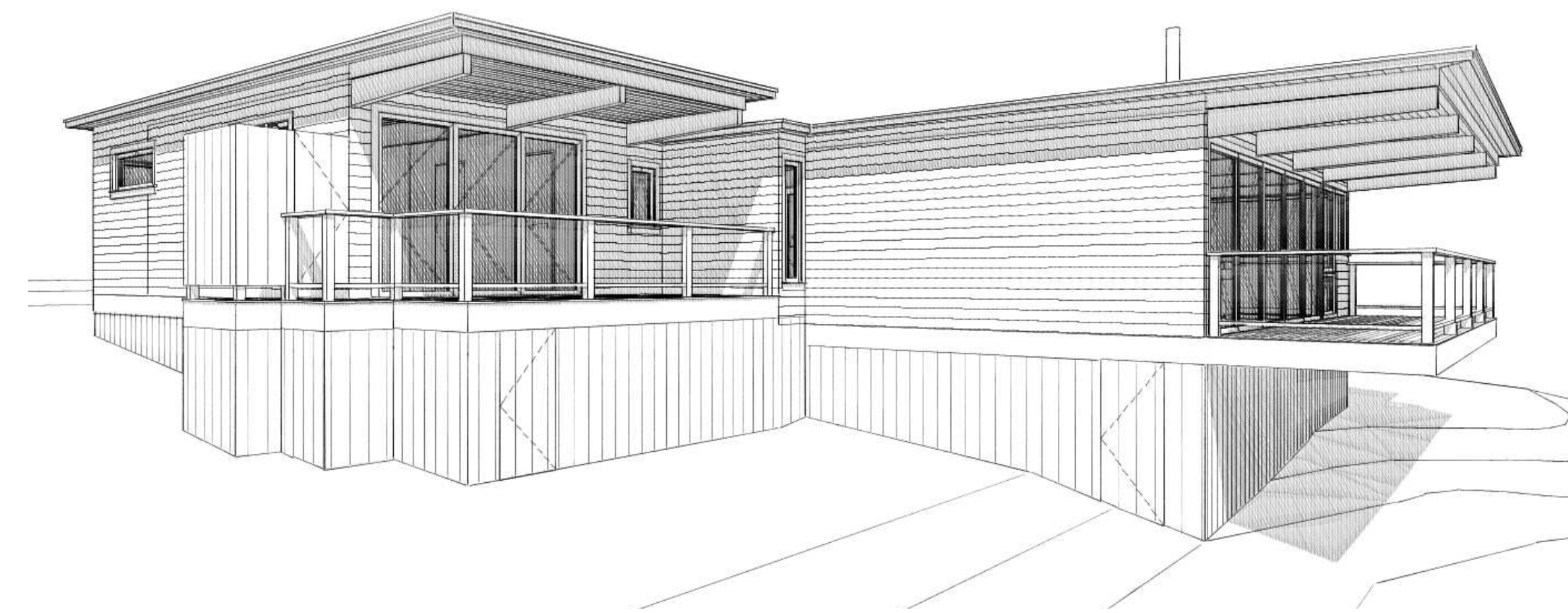
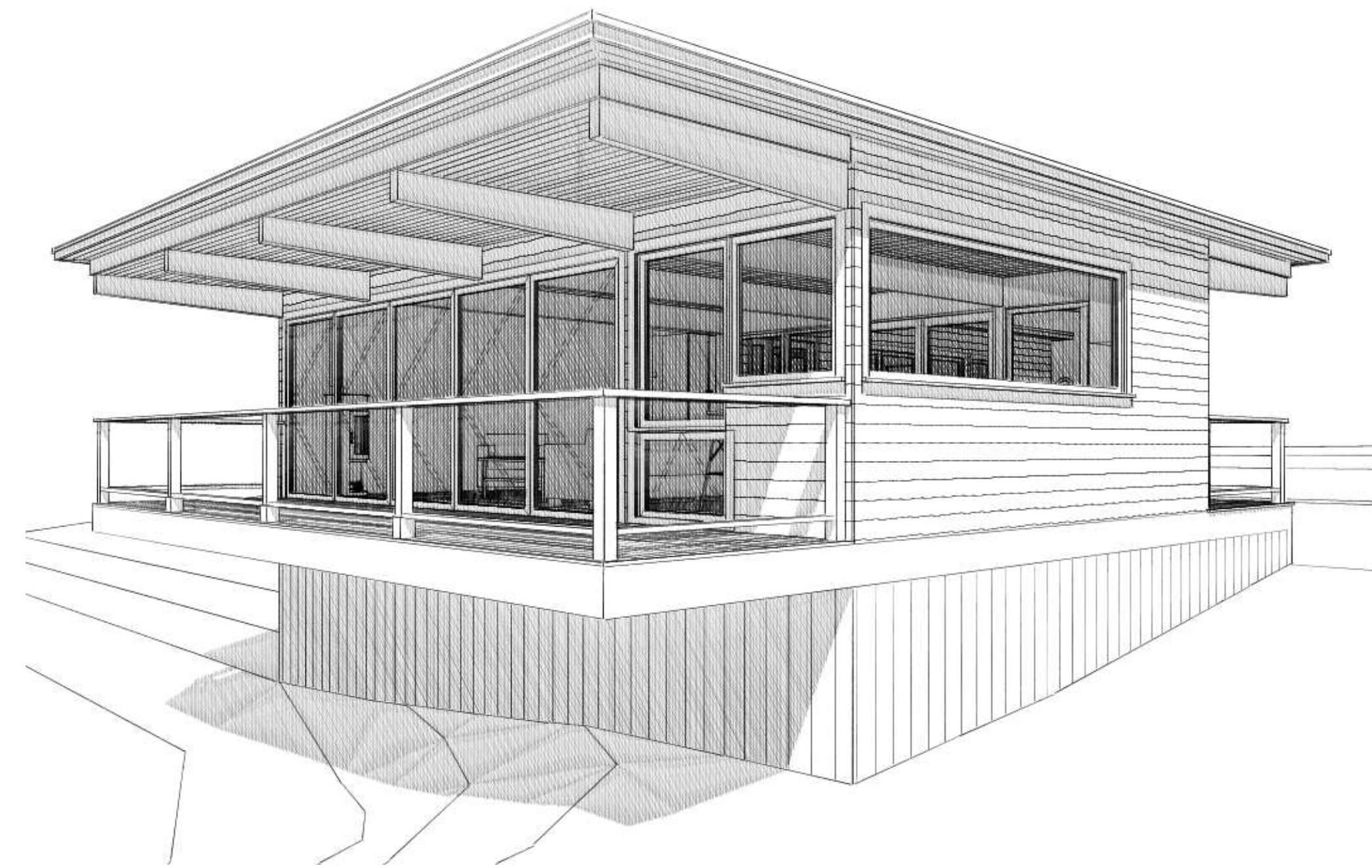
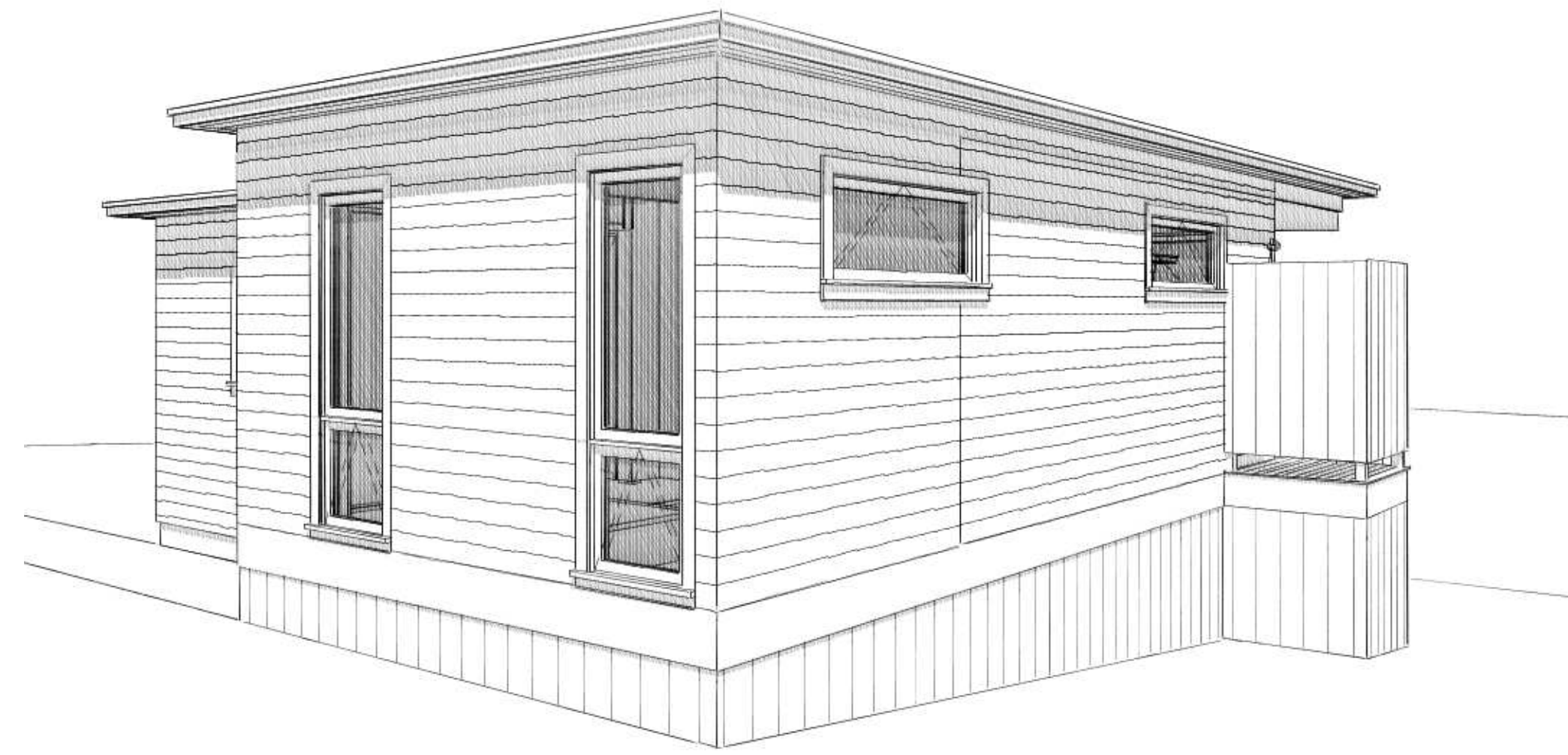


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| SET:   | DATE:    |
| SET #1 | ##/##/22 |
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|        |          |

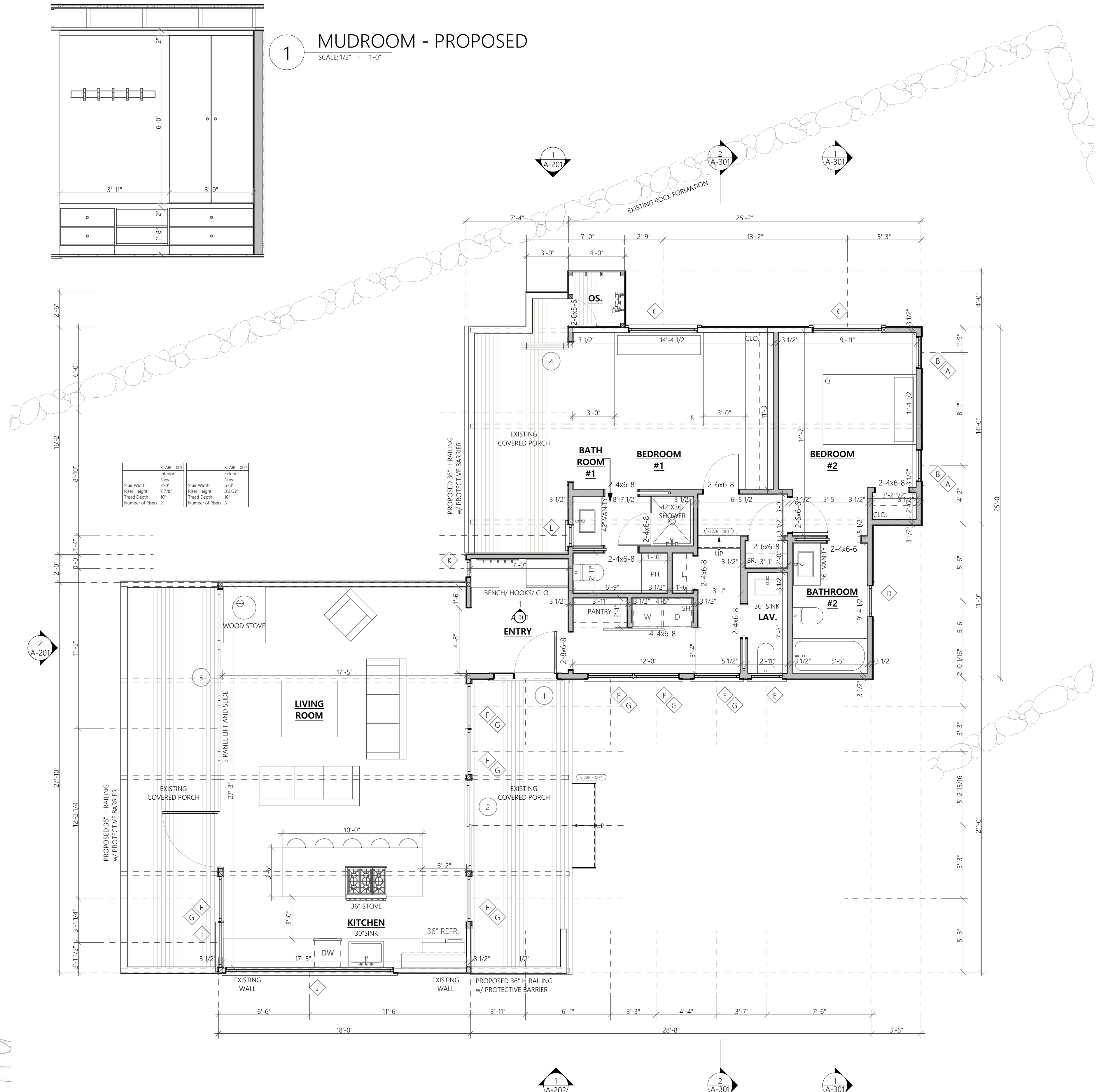
|               |                                   |
|---------------|-----------------------------------|
| PROJECT NAME: | PACKISH RESIDENCE                 |
| ADDRESS:      | 15 MARSH ROAD, CHILMARK, MA 02555 |
| SHEET TITLE:  | FOUNDATION PLAN - PROPOSED        |

|             |            |
|-------------|------------|
| DRAWN BY:   | SS         |
| DATE:       | 2024-04-24 |
| MAP/PARCEL: | 27.1-31    |
| JOB #:      | 24P01      |
| DRAWING #:  |            |





1 MUDROOM - PROPOSED  
SCALE: 1/2" = 1'-0"



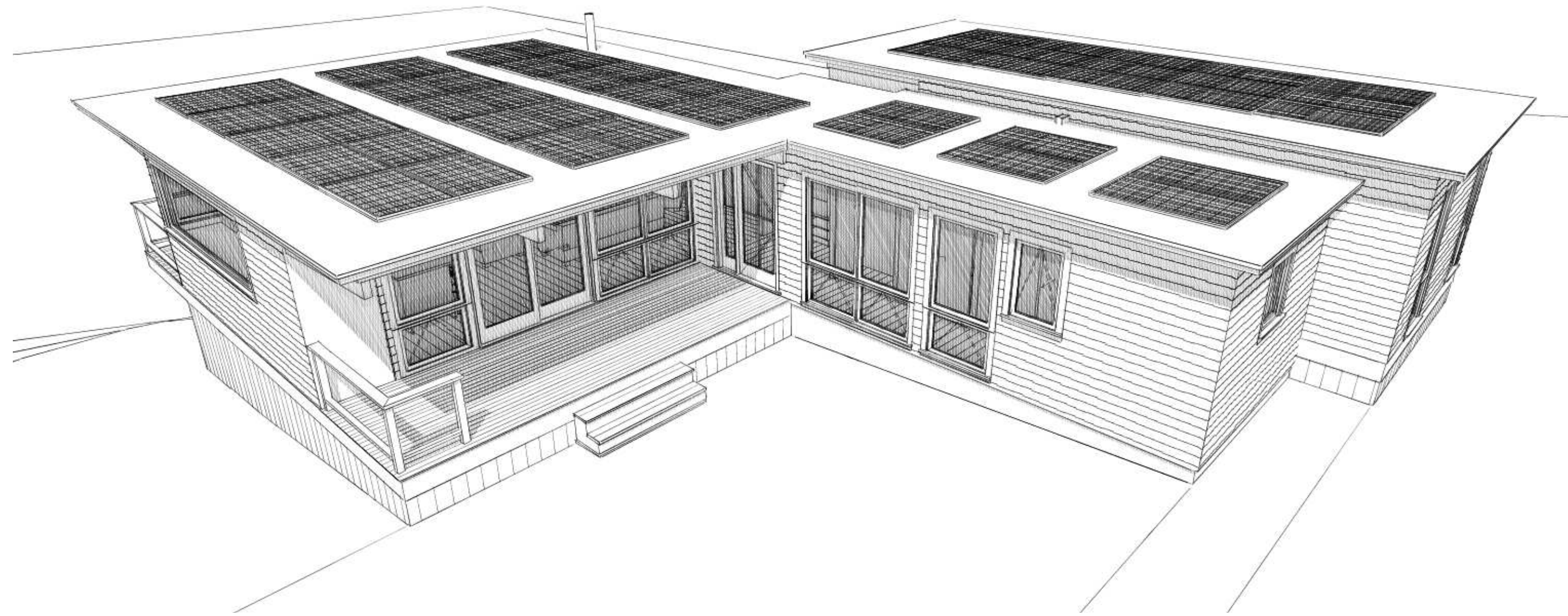
FIRST FLOOR PLAN - PROPOSED

SCALE: 1/4" = 1'-0"



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| SET:   | DATE:    |
| SET #1 | ##/##/22 |
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|---------------|-----------------------------------|
| PROJECT NAME: | PACKISH RESIDENCE                 |
| ADDRESS:      | 15 MARSH ROAD, CHILMARK, MA 02555 |
| SHEET TITLE:  | FIRST FLOOR PLAN - PROPOSED       |
| DRAWN BY:     | SS                                |
| DATE:         | 2024-04-24                        |
| MAP/PARCEL:   | 27.1-31                           |
| JOB #:        | 24P01                             |
| DRAWING #:    | A-101                             |



1  
A-201

2  
A-301

1  
A-301

2  
A-301

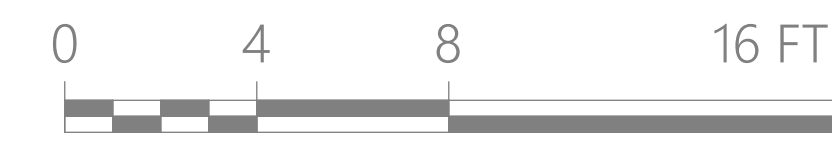
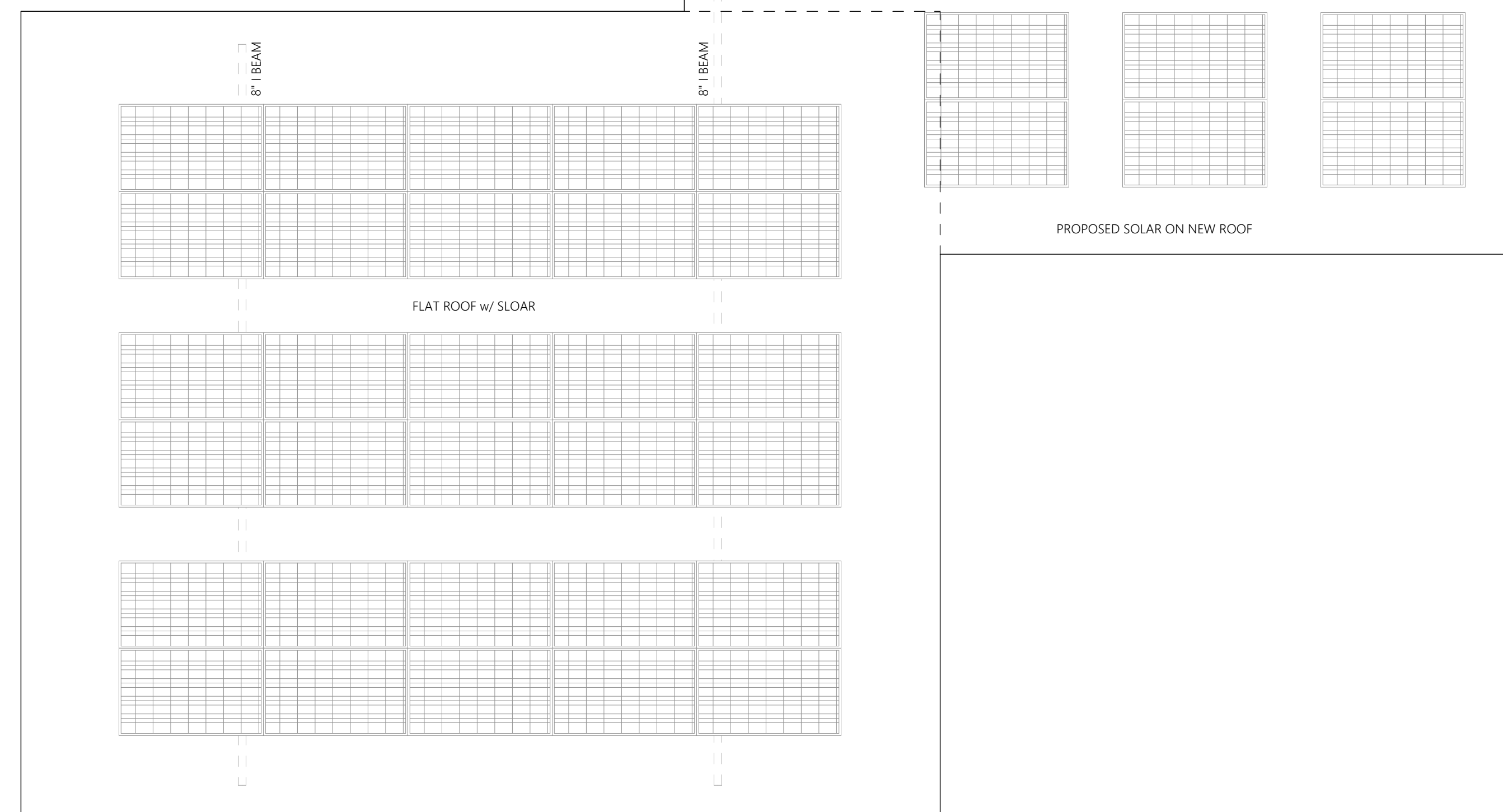
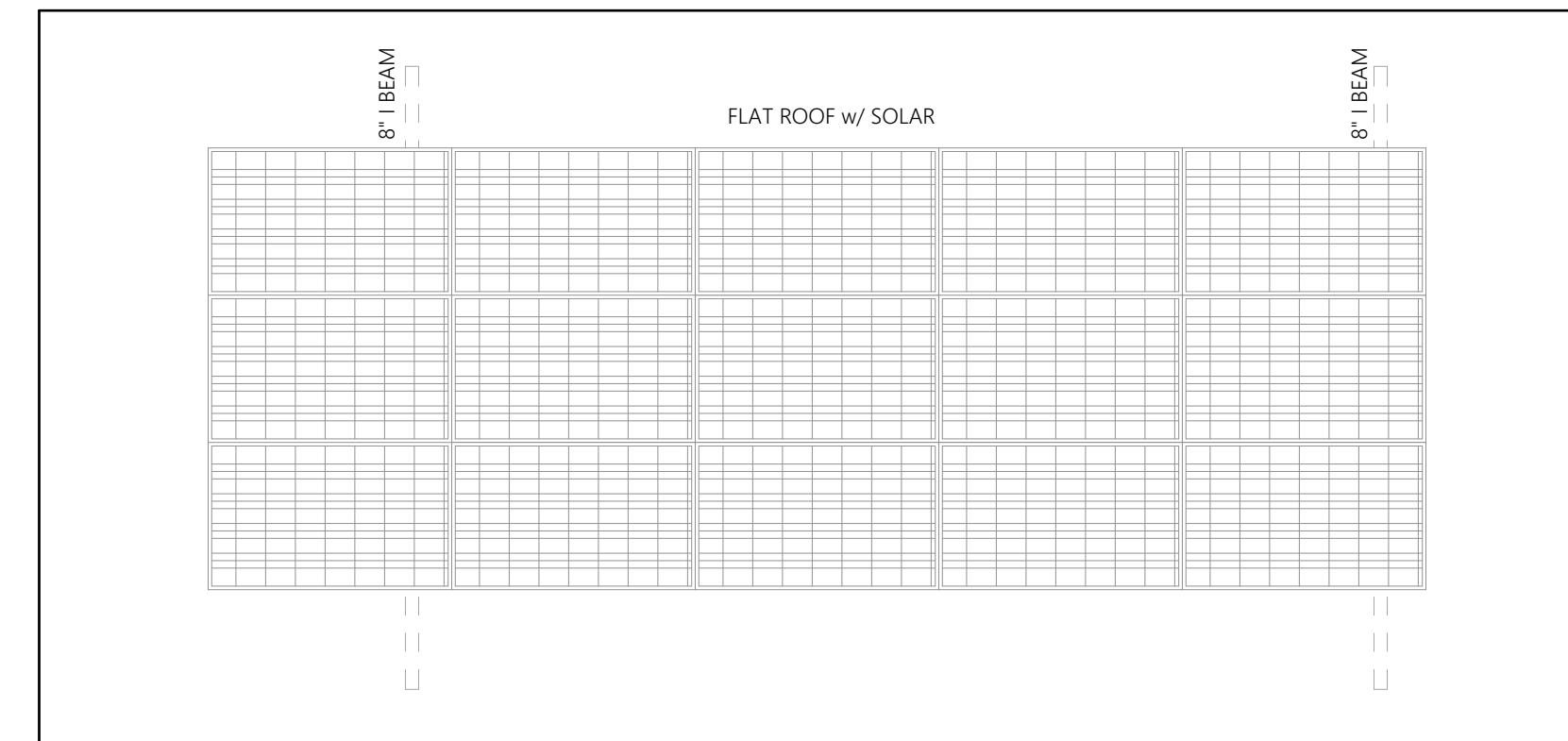
1  
A-202

2  
A-301

1  
A-301

**ROOF PLAN - PROPOSED**

SCALE: 1/4" = 1'-0"

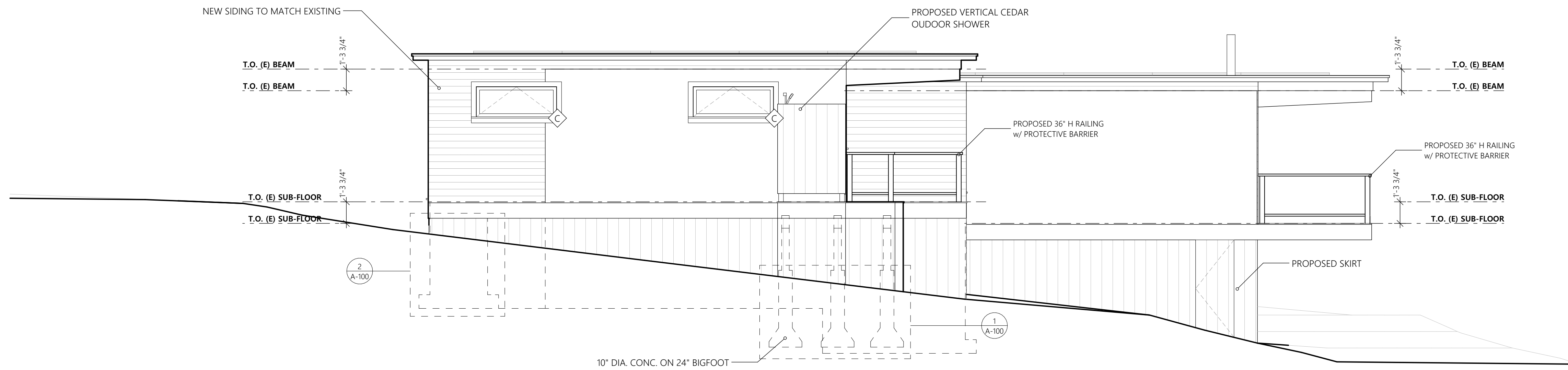


|        |          |
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| SET:   | DATE:    |
| SET #1 | ##/##/22 |
|        |          |
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|        |          |

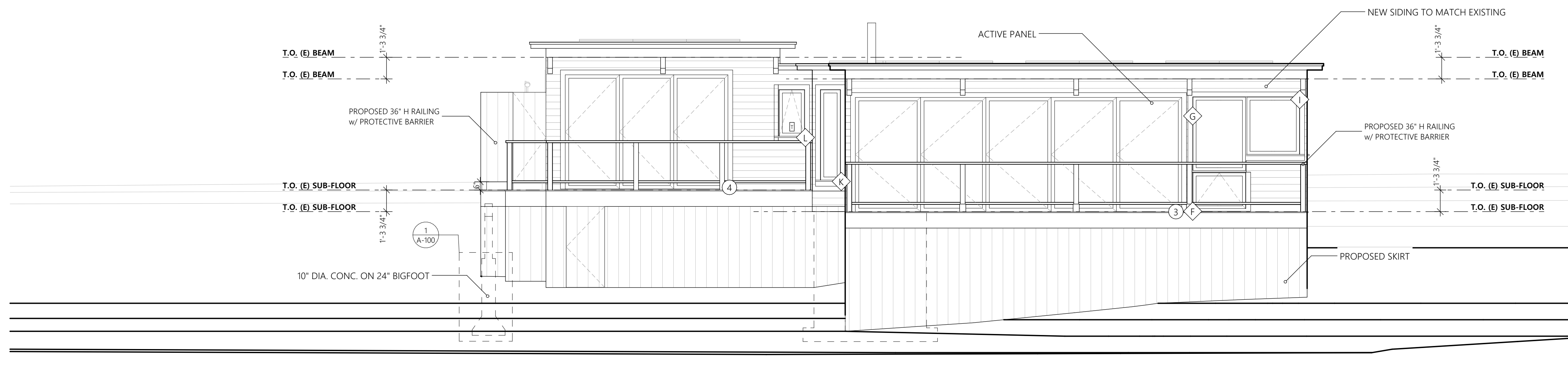
|               |                                   |
|---------------|-----------------------------------|
| PROJECT NAME: | <b>PACKISH RESIDENCE</b>          |
| ADDRESS:      | 15 MARSH ROAD, CHILMARK, MA 02555 |
| SHEET TITLE:  | <b>ROOF PLAN - PROPOSED</b>       |

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| DRAWN BY:   | SS         |
| DATE:       | 2024-04-24 |
| MAP/PARCEL: | 27.1-31    |
| JOB #:      | 24P01      |
| DRAWING #:  | A-102      |

**A-102**



1 NORTH ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



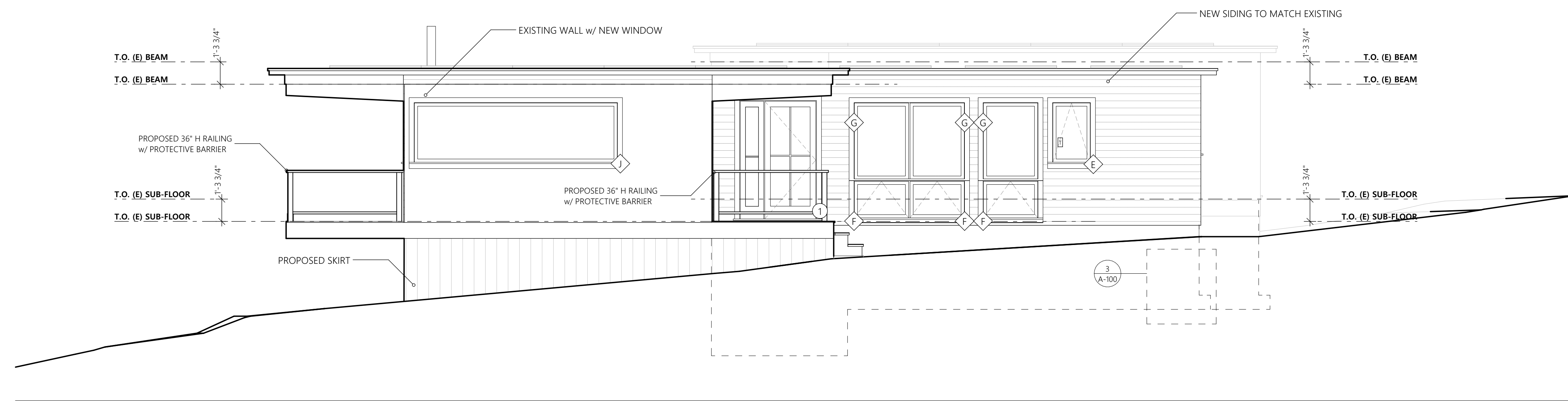
2 WEST ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



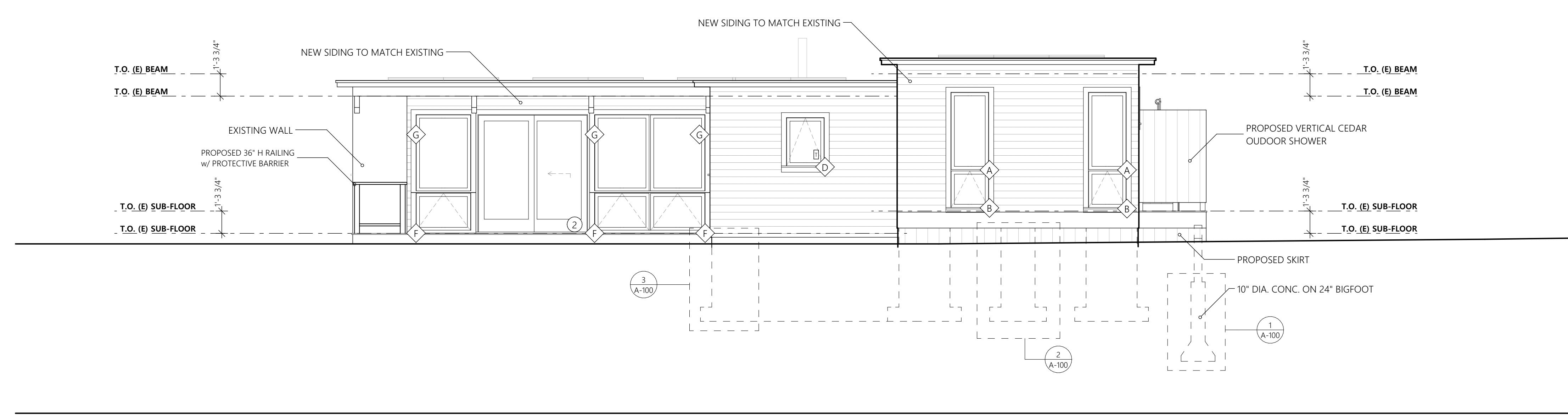
|        |          |
|--------|----------|
| SET:   | DATE:    |
| SET #1 | ##/##/22 |
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|               |                                   |
|---------------|-----------------------------------|
| PROJECT NAME: | PACKISH RESIDENCE                 |
| ADDRESS:      | 15 MARSH ROAD, CHILMARK, MA 02555 |
| SHEET TITLE:  | EXTERIOR ELEVATIONS - PROPOSED    |
| DRAWN BY:     | SS                                |
| DATE:         | 2024-04-24                        |
| MAP/PARCEL:   | 27.1-31                           |
| JOB #:        | 24P01                             |
| DRAWING #:    | A-201                             |





**1 SOUTH ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"

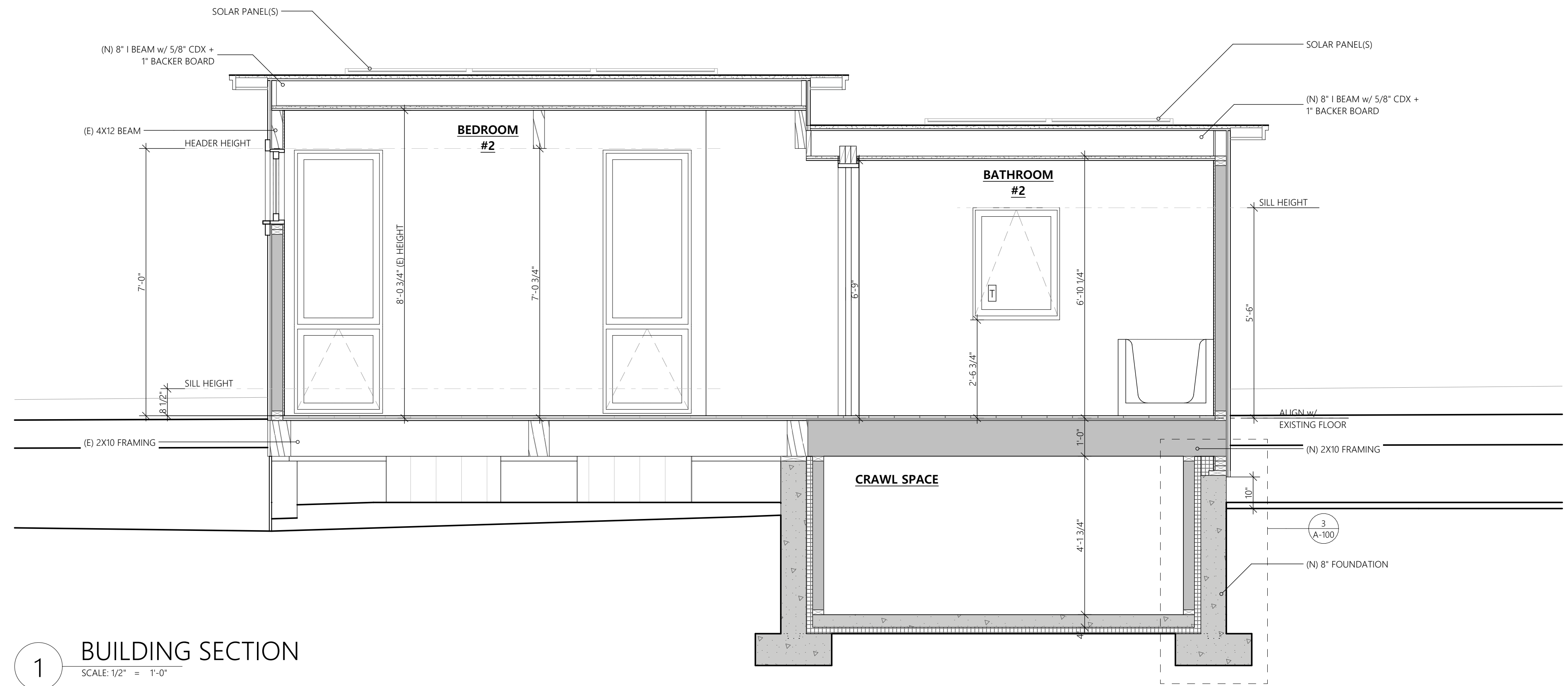


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| SET:   | DATE:    |
| SET #1 | ##/##/22 |
|        |          |
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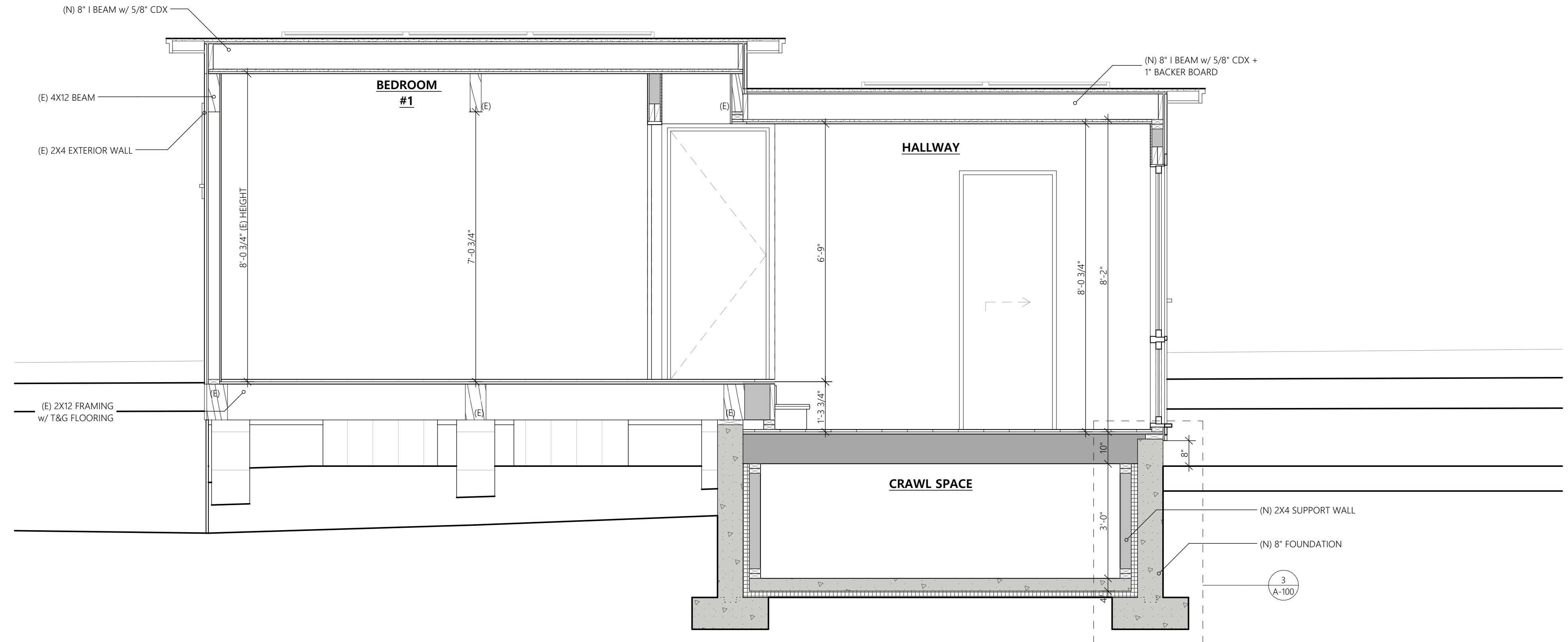
|               |                                   |
|---------------|-----------------------------------|
| PROJECT NAME: | PACKISH RESIDENCE                 |
| ADDRESS:      | 15 MARSH ROAD, CHILMARK, MA 02555 |
| SHEET TITLE:  | EXTERIOR ELEVATIONS - PROPOSED    |

|             |            |
|-------------|------------|
| DRAWN BY:   | SS         |
| DATE:       | 2024-04-24 |
| MAP/PARCEL: | 27.1-31    |
| JOB #:      | 24P01      |
| DRAWING #:  | A-202      |

**A-202**



**1 BUILDING SECTION**  
SCALE: 1/2" = 1'-0"



**2 BUILDING SECTION**  
SCALE: 1/2" = 1'-0"

|        |          |
|--------|----------|
| SET:   | DATE:    |
| SET #1 | ##/##/22 |
|        |          |
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|               |                                    |
|---------------|------------------------------------|
| PROJECT NAME: | <b>PACKISH RESIDENCE</b>           |
| ADDRESS:      | 15 MARSH ROAD, CHILMARK, MA 02555  |
| SHEET TITLE:  | <b>BUILDING SECTION - PROPOSED</b> |

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|-------------|------------|
| DRAWN BY:   | SS         |
| DATE:       | 2024-04-24 |
| MAP/PARCEL: | 27.1-31    |
| JOB #:      | 24P01      |
| DRAWING #:  |            |